



PLANNING COMMISSION MEETING
Monday, May 28, 2026 – 7:00 p.m.
Farmington City Hall
Council Chambers
23600 Liberty Street
Farmington, MI 48335

AGENDA

- 1. ROLL CALL**

- 2. APPROVAL OF ITEMS ON CONSENT AGENDA**
 - A. April 13, 2026 Minutes**

- 3. APPROVAL OF REGULAR AGENDA**

- 4. UNFINISHED BUSINESS**
 - A. NONE**

- 5. NEW BUSINESS**
 - A. SPECIAL LAND USE PUBLIC HEARING – 31806 GRAND RIVER AVENUE, VIBE CREDIT UNION**
 - B. CONSIDERATION TO APPROVE SPECIAL LAND USE – 31806 GRAND RIVER AVENUE, VIBE CREDIT UNION**
 - C. SITE PLAN REVIEW - 31806 GRAND RIVER AVENUE, VIBE CREDIT UNION**
 - D. PUBLIC COMMENT**
 - E. SITE PLAN REVIEW - 33224 GRAND RIVER AVENUE, FARMINGTON VILLAGE PLACE**

- 6. UPDATE - CURRENT DEVELOPMENT PROJECTS**

- 7. PLANNING COMMISSION COMMENTS**

- 8. ADJOURNMENT**

The City will follow its normal procedures for accommodation of persons with disabilities. Those individuals needing accommodations for effective participation in this meeting should contact the City Clerk (248) 474-5500, ext. 2218 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

FARMINGTON PLANNING COMMISSION PROCEEDINGS
23600 Liberty Street
Farmington, Michigan
April 13, 2026

Chairperson Perrot called the meeting to order in Council Chambers, 23600 Liberty Street, Farmington, Michigan, at 7:00 p.m. on Monday, April 13, 2026.

ROLL CALL

Present: Crutcher, Gray, Kmetzo, Mantey, and Perrot
Absent: Majoros, Westendorf

A quorum of the Commission was present.

OTHER OFFICIALS PRESENT: Jeff Bowdell, Building Official; Beth Saarella, City Attorney; Kristen Hatfield, Planning Consultant, Brian Belesky, Director of Media, Brian Golden, Director of Media.

APPROVAL OF ITEMS ON CONSENT AGENDA

A. March 9, 2026 Minutes

MOTION by Crutcher, seconded by Gray, to approve the items on the Consent Agenda.
MOTION carried, all ayes.

APPROVAL OF ITEMS ON REGULAR AGENDA

MOTION by Kmetzo, seconded by Crutcher, to approve the Regular Agenda.
MOTION carried, all ayes.

UNFINISHED BUSINESS

A. CONSIDERATION OF APPROVAL OF THE 2025 MASTER PLAN UPDATE

Chairperson Perrot introduced this item and turned it over to Mantey. Mantey stated that at the Planning Commission's March 9, 2026 meeting, a public hearing was held on the 2025 Master Plan Update. Based on feedback from the public, several changes were made to the Plan, as described in the attached Amendment Summary, prepared by the City's Consultant. Administration is recommending approval of the Master Plan Update with the incorporated amendments. Perrot asked OHM to summarize changes made. OHM referenced their amendment summary and stated that the items were in response to the comments from the public hearing about future land use and the Oakland County Coordinating Zoning Committee. Perrot then asked for further comments. Hearing none, a motion was called for.

City of Farmington Planning Commission

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MOTION by Kmetzo, seconded by Perrot, to adopt a Resolution approving the 2025 Master Plan Update with the incorporated amendments.

MOTION carried, all ayes.

NEW BUSINESS

A. SPECIAL LAND USE PUBLIC HEARING – FARMINGTON HEATING AND COOLING, LLC, 23105 POWER ROAD

Chairperson Perrot introduced this item and turned it over to Mantey. Mantey stated that Jon Petrusha has applied for a special land use for 23105 Power Road (formerly Just Jewelers) for Farmington Heating and Cooling. Jon is the current owner of Farmington Heating and Cooling and would like to open up a 1-2 person office.

This property is zoned Office Service. Business office and service establishments are a special land use in this district, requiring Planning Commission approval. The special land use was noticed to the public in the Oakland Press as required.

Planned changes to the site include painting of the building and updated landscaping.

Perrot then asked for the applicant to present a brief summary of the plans. Jon Petrusha, Farmington Heating and Cooling, 23105 Power, stated that he purchased this property four or five months ago and worked with the City to make sure everything is done right. It is a small office storefront with room for storage. It is brick and mortar, on Main Street, which is part of the plan for the company. Crutcher then asked if there was any plan to store materials outside or in the building. Petrusha stated no, that they still have a storage unit over on Nine Mile, and outdoor parking on Nine Mile at a storage facility.

Hatfield then provided a summary of the planning consultants review letter dated February 27, 2026, which stated that this is a pretty straightforward special land use. It was reviewed against the criteria in the city's zoning ordinance and was found to meet all the standards. There was a small note made about the parking which was discussed with the property owner. He was aware that a portion of the parking lot may be on the neighboring property. It's unclear looking at the GIS, but it was brought to his attention. It's really a civil issue at this point. His neighbor received a special land use public hearing notice. If they had any issues they could have made them here. The one note made in the review letter is the potential to do some landscaping along the street front to bring that into compliance, but other than that, there were no substantial comments or concerns.

Perrot then asked for a motion to open the public hearing.

City of Farmington Planning Commission

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MOTION by Crutcher, seconded by Mantey, to open the Public Hearing on Farmington Heating and Cooling, LLC, 23020 Power Road.

Motion carried, all ayes.

No public comment was heard.

Perrot then asked for a motion to close the public hearing.

MOTION by Kmetzo, seconded by Crutcher, to close the Public Hearing on Farmington Heating and Cooling, LLC, 23020 Power Road.

Motion carried, all ayes.

B. CONSIDERATION TO APPROVE SPECIAL LAND USE – FARMINGTON HEATING AND COOLING, LLC, 23105 POWER ROAD

Perrot introduced this item and called for a motion to approve or deny the special land use.

MOTION by Kmetzo, seconded by Crutcher, to approve the special land use for 23105 power, Farmington Heating and Cooling for use of a business office and service establishment, because it meets the standards for approval for a special land use section 35-152 as follows:

1. The proposed use will be compatible and in accordance with the goals objectives and policies of the City of Farmington master plan because the special land use request is compatible with objective increasing commercial opportunities and promoting economic growth in the City of Farmington.
2. The proposed use will also promote the intent of the zoning district in which the use is proposed because the subject parcel will provide an office use that is professional in nature while also serving as a transitional area between residential to the north and commercial to the south and providing a buffer for residential neighborhoods and arterial roadways.
3. The proposed use will be constructed, operated, and maintained so as to be compatible with the existing or intended character of the general vicinity, and so as not to change the essential character of the area in which it is proposed, because improvements will make the site compatible with the intended character of the area.
4. The proposed use will be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures,

water and sewage facilities, and primary and secondary schools, because all of these facilities are existing.

5. The proposed use will not involve uses, activities, materials, processes, and equipment, or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, smoke, odors, and other such noises, because its property will be used solely for the administration of the business with one or two

Motion carried, all ayes.

**C. FAÇADE IMPROVEMMNT FARMINGTON HEATING AND COOLING, LLC,
23105 POWER ROAD**

Perrot introduced this item and turned it over to Mantey. Mantey discussed that this item is a review of a proposed Building Façade Modification to the existing building located at 23105 Power Road. The proposed modifications include sealcoating and restriping of the parking lot, painting of the outside of the building (Iron Mtn. Grey) and trim (winter white), additional landscaping, and a new exterior sign.

Site Plan Review is required under Section 35-162 Building renovations, modifications to building facade or other architectural features that do not result in additions to floor area or increased building height.

Perrot then asked for an overview from Hatfield. Hatfield stated that a separate site plan review was not performed for the site but the materials that the property owner submitted were reviewed and it looks like the intent is to paint it neutral in tone and color and to do the seal coating of the parking lot and updating the landscaping.

Kmetzo then asked if the building size was going to change. Petrusha stated it would not.

Crutcher asked about paint color and the building becoming less visible. Petrusha said there was no retail and it matched company colors.

Kmetzo asked about timing. Petrusha stated that painting and seal coating will start a couple of weeks from now. Kmetzo asked about landscaping. Petrusha said that as well. Bowdell stated that Petrusha would submit a landscape plan to him before landscaping was installed.

MOTION by Mantey, seconded by Gray, to approve the proposed façade modifications for 23105 Power Road, Farmington Heating and Cooling because they meet the

City of Farmington Planning Commission

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requirements of Section 35-104 of the Zoning Ordinance, subject to administrative approval of a landscape plan to bring the landscaping into conformity along Power Road. Motion carried, all ayes.

D. SPECIAL LAND USE PUBLIC HEARING – COMFORT KEEPERS IN-HOME CARE BUSINESS OFFICE, 23020 POWER ROAD

Perrot introduced this item and turned it over to Mantey. Mantey stated that Erin R. White on behalf of Tula Grace Holdings, LLC has applied for a special land use for 23020 Power Road for Comfort Keepers In-Home Care Business Office, an in-home senior caregiving service, to occupy the main floor. The nature of the business is provision of services to support clients' health and well-being, often providing support for clients with medical conditions and complex health needs. The existing dental practice on the lower level will be maintained.

This property is zoned Office Service. Business office and service establishments are a special land use in this district, requiring Planning Commission approval. The special land use was noticed to the public in the Oakland Press as required.

There are no planned changes to the exterior of the site.

Perrot asked for the applicant to present their project.

Erin R. White approached the podium and introduced herself as the petitioner. She stated her business has been in business for about 10 years. It has been in Farmington for six years and has outgrown its current location with the lease coming up. She has decided to purchase this building and intends to operate her administrative offices out of the main floor of the building. This will be strictly administrative. They will not be serving any clients in this location, but they will be doing management oversight remotely as well as employee training.

Perrot then asked for Hatfield to present the review letter dated March 25, 2026. Hatfield stated that the petitioner is requesting to locate a professional office on the main floor of the existing structure and that the lower level is occupied by dental clinic. She reviewed all the criteria for the special land use and found that they met all of the criteria. Her only comment about the site is that the landscaping could be brought up to conformance but that, because of the way the utilities are situated in the front yard, there's really not much of an area to install a green belt. She then stated her recommendation was to approve pending approval of all applicable city departments and consultants.

Crutcher then asked what was previously in the space. Blugerman, the broker for the property approached the podium and stated that the previous use was a closed door pharmacy.

Perrot then asked for a motion to open the public hearing.

MOTION by Crutcher, seconded by Kmetzo, to open the public hearing.
Motion carried, all ayes.

No public comment was made.

Perrot then asked for a motion to close the public hearing.

MOTION by Crutcher, seconded by Gray, to close the public hearing.
Motion carried, all ayes.

**E. CONSIDERATION TO APPROVE SPECIAL LAND USE – COMFORT KEEPERS
IN-HOME CARE BUSINESS OFFICE, 23020 POWER ROAD**

Perrot called for a motion to approve or deny the special land use.

MOTION by Kmetzo, seconded by Crutcher, to approve the Special Land Use for Comfort Keepers In-Home Care Business Office, 23020 Power Road for the use of a business office and service establishment because it meets the Standards for Approval for a Special Land Use, Sec. 35-152 as follows:

1. The proposed use will be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because this special land use request is compatible with the objective of increasing commercial opportunities and promoting economic growth in the City of Farmington. Additionally, the proposed business offers services that improve quality of life for older residents.
2. The proposed use will promote the intent of the zoning district in which the use is proposed, because the subject parcel will provide an office use that is professional in nature while also serving as a transitional area between residential to the north and commercial to the south, and providing a buffer for residential neighborhoods and arterial roadways.
3. The proposed use will be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed, because development of the site has been limited to the building located along the frontage on Power Road and

a parking lot along the southern property line. The northern and eastern portions of the parcel have been left undeveloped with a substantial number of trees and brush, which provides a buffer for the residential properties to the north.

4. The proposed use will be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools, because all of these facilities are existing.

5. The proposed use will not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance, because we find no evidence that the proposed professional office for Comfort Keepers will involve any uses, activities, processes, materials and equipment or conditions of operation that would be detrimental to the surrounding area or generate excessive production of traffic, noise or other nuisances.

Motion carried, all ayes.

UPDATE CURRENT DEVELOPMENT PROJECTS

Bowdell provided an update of current development projects.

PUBLIC COMMENT

None heard.

PLANNING COMMISSION COMMENTS

None heard.

ADJOURNMENT

MOTION by Gray, supported by Crutcher, to adjourn the meeting.
Motion carried, all ayes.

The meeting was adjourned at 7:35 p.m.

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Respectfully submitted,

Secretary

**Farmington Planning Commission
Staff Report**

**Planning Commission
Date:** May 28, 2026

**Item
Number**

Submitted by: Chris Weber, Assistant City Manager

Agenda Topic: Public Hearing – 31806 Grand River Avenue, Vibe Credit Union

Proposed Motion:

Move to open the Public Hearing on 31806 Grand River Avenue, Vibe Credit Union

Move to close the Public Hearing on 31806 Grand River Avenue, Vibe Credit Union

Background:

Hunter Karam of D’Anna Associates, LLC has applied for a special land use for 31806 Grand River Avenue, Vibe Credit Union. Hunter is the architect for Vibe Credit Union and Vibe Credit Union would like to open up a bank with a drive-through facility at this location.

This property is zoned C2, Community Commercial District. Banks with a drive-through facility are a special land use in this district, requiring Planning Commission approval. The special land use was noticed to the public in the Oakland Press as required.

The applicant will present their project to the Commission during this agenda item.

After the applicant presents their project, OHM will provide their special land use report.

Finally, the Commission will open the public hearing, and once all comments have been received, close the public hearing.

Materials:

Application Excerpt

Site Plan

OHM Special Land Use Review Letter dated May 18, 2026

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives and policies of the City of Farmington Master Plan.

The site shall use the existing drive-through spaces with a reduced capacity from four (4) lanes down to three (3) lanes with no changes to the existing bypass lane in accordance with the City of Farmington Code of Ordinances Chapter 35-158 § J.

- b. The special land use shall promote the intent of the zoning district in which the use is proposed.

The proposed special land use complies with the zoning ordinance in accord with the City of Farmington Code of Ordinances Chapter 35 Article 7 Sec. table 35-102 § c.

- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.

The proposed special land use complies with the zoning ordinance in accord with the City of Farmington Code of Ordinances Chapter 35 Article 13 Sec. 35-53. The building's exterior facade is being updated with minimal changes to the existing site.

- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police and fire protection, drainage structures, water and sewer facilities and schools.

The proposed special land use will be fully accessible to all emergency vehicles, existing drainage, and utilities shall be maintained.

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- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.

The proposed special land use will involve uses, activities, processes, materials, equipment, and conditions of operation that comply with Section 35-53. The materials to be used consist of the existing brick that shall be painted, new stone facades replacing two (2) existing brick walls, new ACM panels to replace the existing panels, new windows, and a flat lock aluminum siding to accent the color of the painted brick and ACM panels - see rendering.

** The special land use criteria included above is not the only requirement for special land use applications. For additional information please refer to ARTICLE 12 SPECIAL LAND USES of the City of Farmington Zoning Ordinance.*

”VIBE CREDIT UNION”

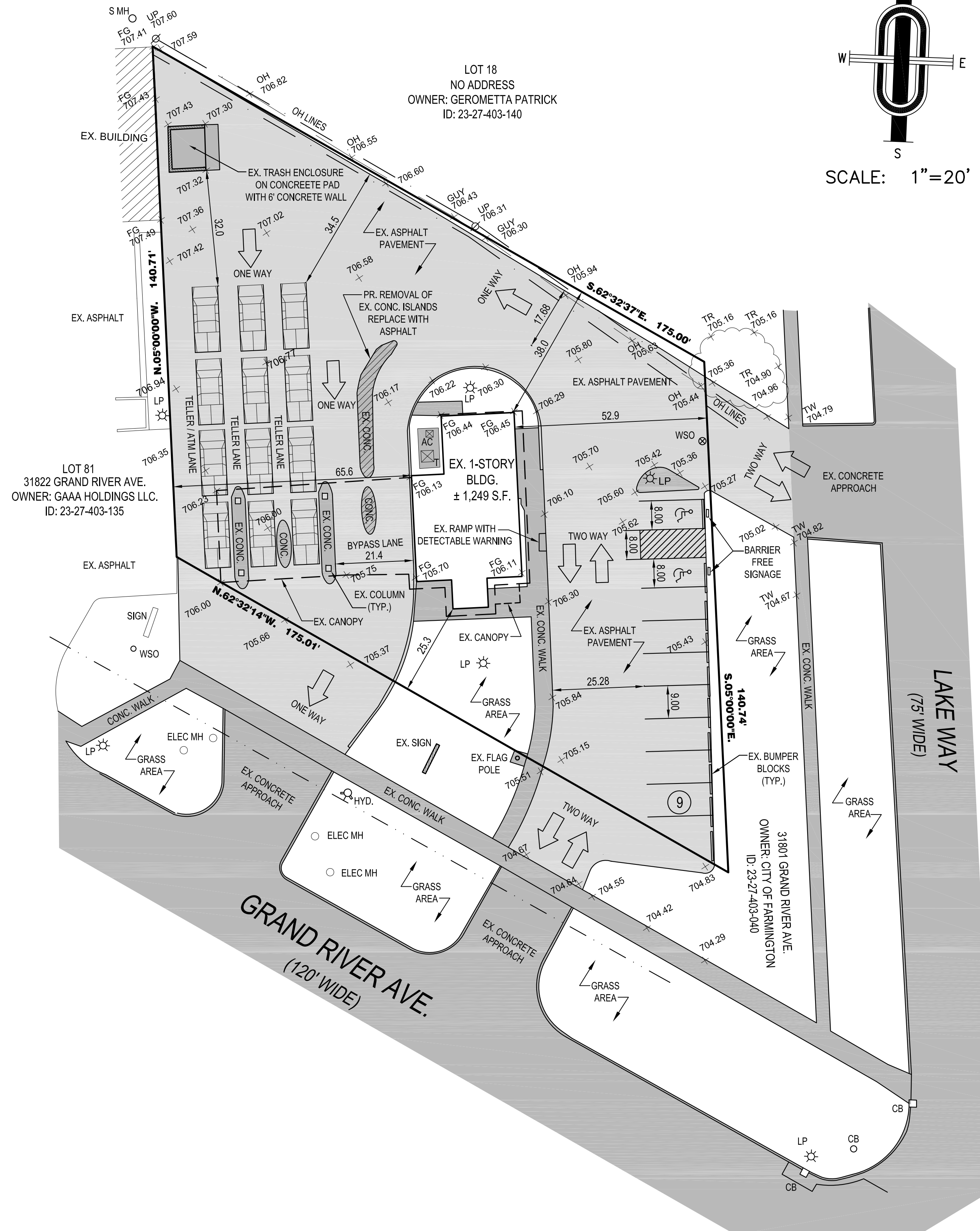
CHANGE OF USE EXISTING SITE PLAN

LEGAL DESCRIPTION: (AS FURNISHED BY THE CLIENT)

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN.

LOTS 82 THROUGH 85, INCLUSIVE, EXCEPT THE SOUTH 50.00 FEET FOR ROAD, BROOKDALE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 12 OF PLATS, PAGE 25, OAKLAND COUNTY RECORDS.

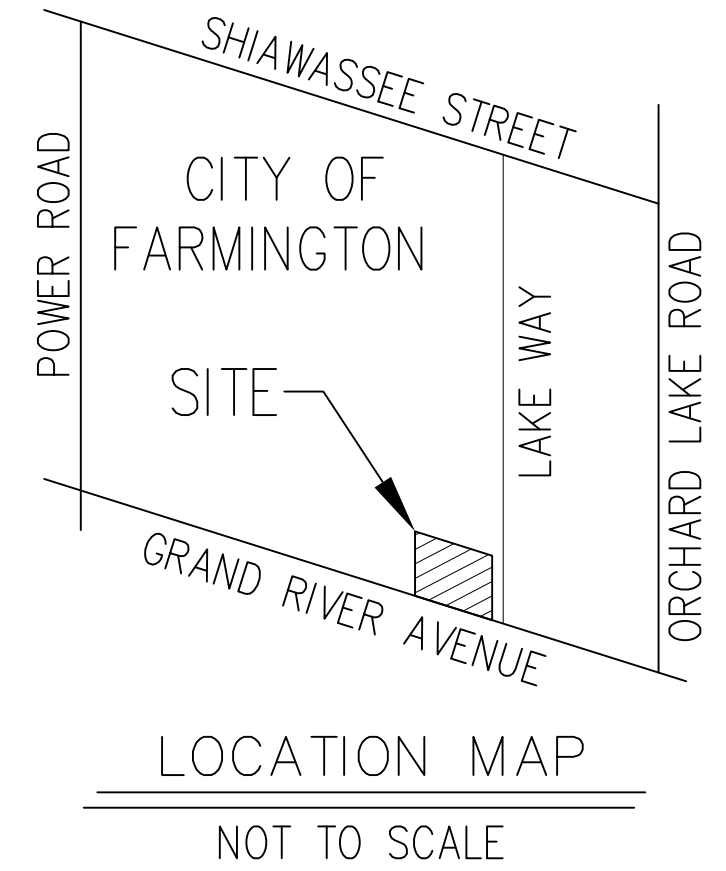
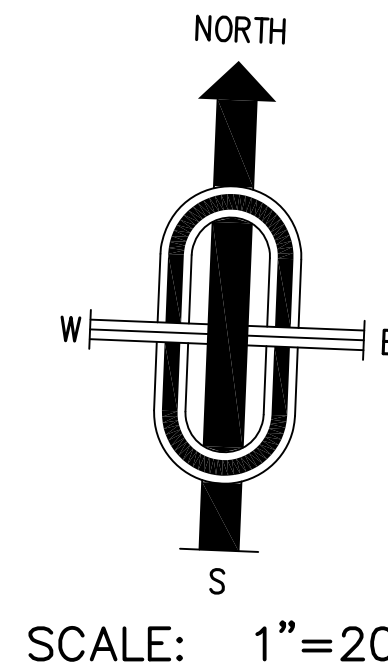
31806 GRAND RIVER AVENUE
PARCEL ID: 23-27-403-141



NOTES:

-SITE INFORMATION AS SHOWN ON THIS PLAN WAS OBTAINED FROM AN ALTA SURVEY PERFORMED BY NF ENGINEERS DATED 11-14-25, JOB # P067. IT IS THE RESPONSIBILITY OF THE CLIENT TO INSURE THAT THE INFORMATION IS CORRECT. SINCE DEED RESTRICTIONS ARE NOT SUPPLIED BY THE MUNICIPALITY, THE CLIENT MUST INFORM THIS OFFICE OF ANY SPECIAL RESTRICTIONS WHICH MAY AFFECT THIS PLAN.

-APPROVAL OF THIS PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL THE APPLICABLE CODES AND/OR ORDINANCES.



SITE DATA:

EXISTING ZONING: C-2 (COMMUNITY COMMERCIAL DISTRICT)
SITE AREA: ±0.477 ACRES
EXISTING BUILDING SIZE: 1,249 SF GROSS
PROPOSED USE: BANK

EXISTING BUILDING SETBACKS:

FRONT: 25.3'
SIDES: 65.6', 52.9'
REAR: 38.0'

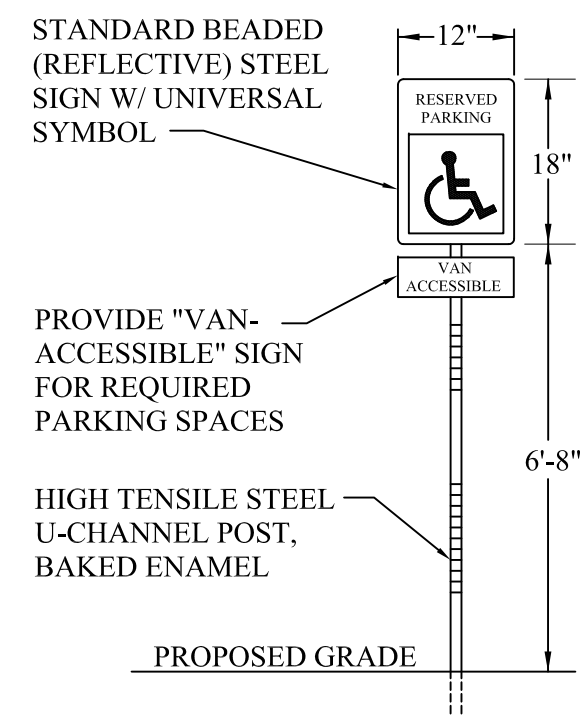
PARKING:

REQUIRED PARKING: 5 SPACES PER 1,000 SF GROSS
TOTAL SPACES REQUIRED: 7 SPACES
ADA ACCESSIBLE SPACES REQUIRED: 1 SPACE

PROVIDED PARKING: 9 SPACES (2 ADA ACCESSIBLE)

4 STACKING SPACES REQUIRED PER BANK TELLER WINDOW
3 BANK TELLER LANES MAXIMUM INCLUDING ATM LANE

- EXISTING ASPHALT:
- EXISTING CONCRETE:
- EXISTING CONCRETE ISLAND TO BE REMOVED & REPLACED WITH ASPHALT:



BARRIER-FREE SIGNAGE DETAIL
NOT TO SCALE



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT SHOWN ON THIS DRAWING) BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

D'Anna Associates
Architecture | Engineering

1055 SOUTH BLVD. E., SUITE 200
ROCHESTER HILLS, MI 48307
P 248-852-7702 F 248-852-7707
dannassoc.com

CLIENT: VIBE CREDIT UNION ANTHONY TAORMINA (248) 829-1560	DATE: 4-17-26
	JOB No. 26-006
	CHECKED BY: S.D.

31806 GRAND RIVER AVENUE
CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN

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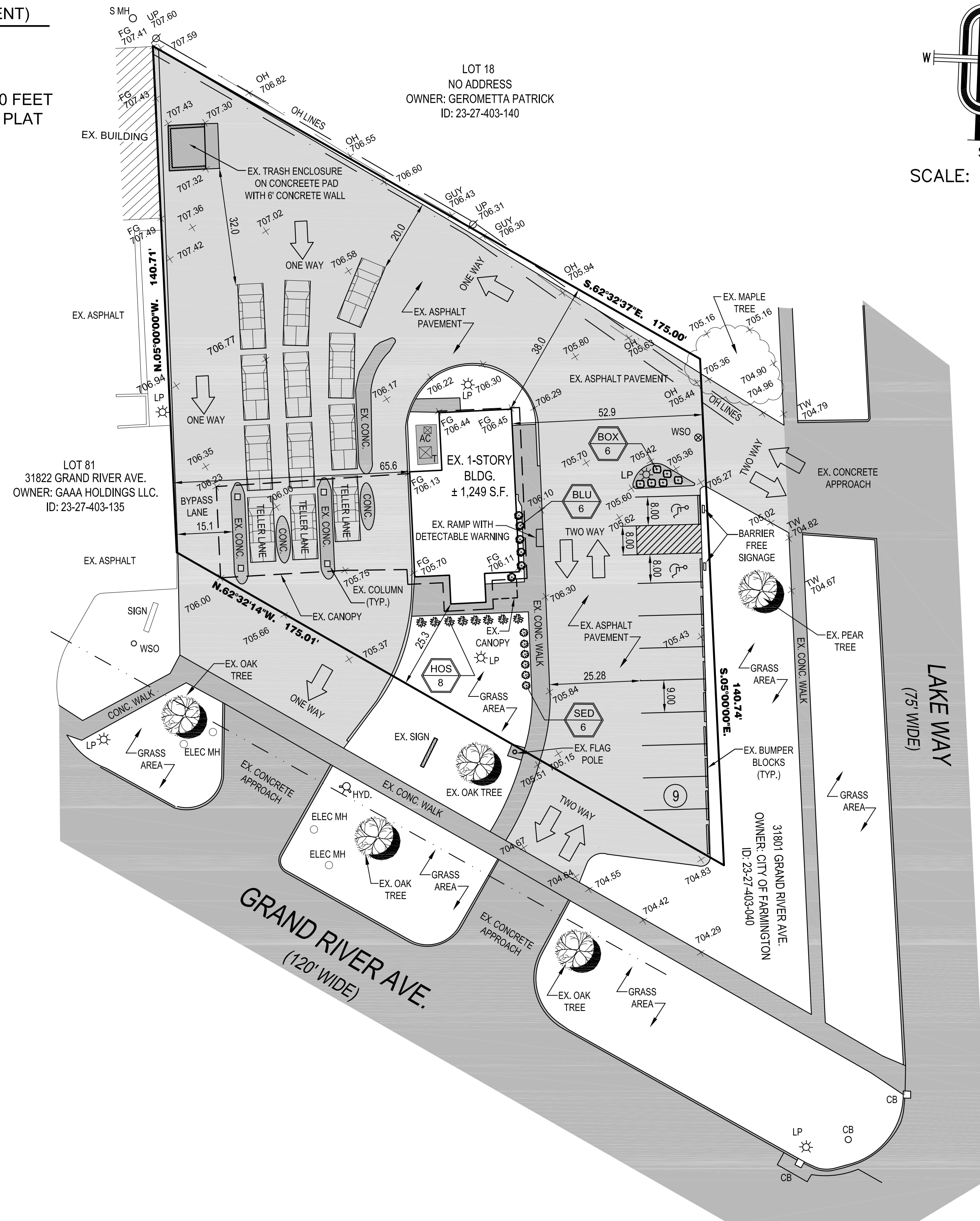
CHANGE OF USE EXISTING SITE PLAN

LEGAL DESCRIPTION: (AS FURNISHED BY THE CLIENT)

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN.

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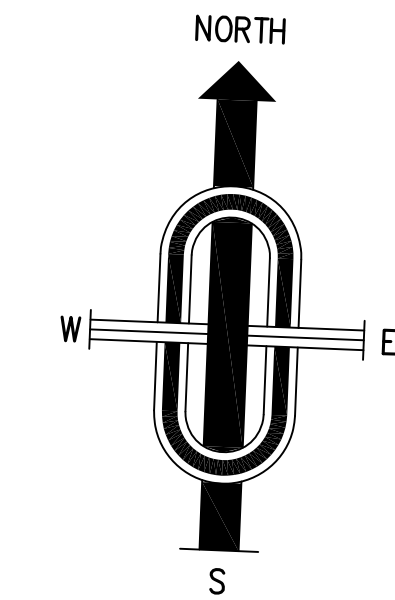
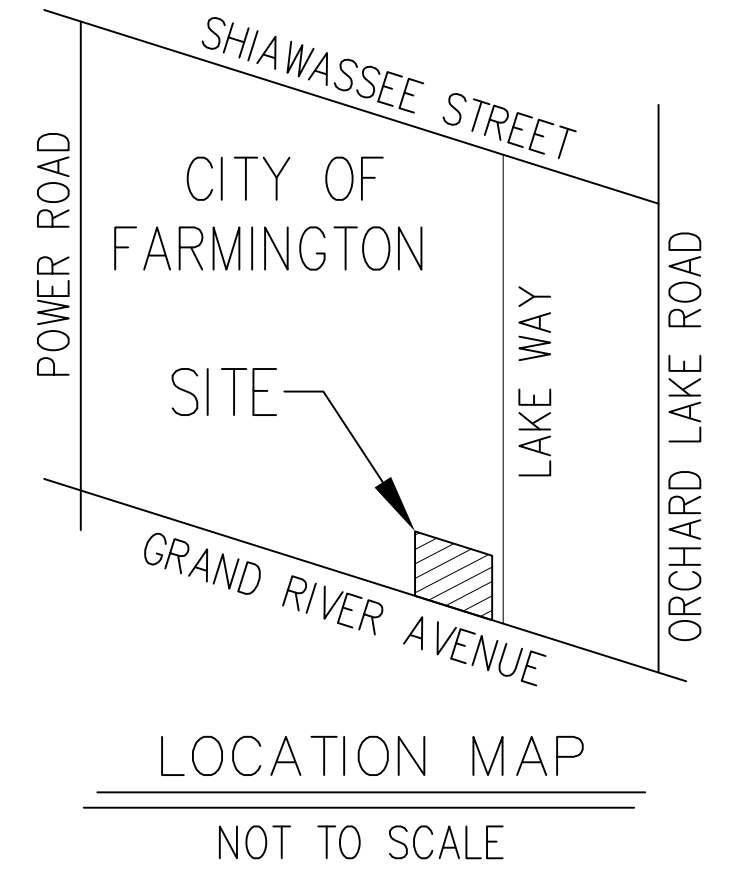
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-APPROVAL OF THIS PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL THE APPLICABLE CODES AND/OR ORDINANCES.



SITE DATA:

EXISTING ZONING: C-2 (COMMUNITY COMMERCIAL DISTRICT)
SITE AREA: ±0.477 ACRES
EXISTING BUILDING SIZE: 1,249 SF GROSS
PROPOSED USE: BANK

EXISTING BUILDING SETBACKS:

FRONT: 25.3'
SIDES: 65.6', 52.9'
REAR: 38.0'

PARKING:

REQUIRED PARKING: 5 SPACES PER 1,000 SF GROSS
TOTAL SPACES REQUIRED: 7 SPACES
ADA ACCESSIBLE SPACES REQUIRED: 1 SPACE

PROVIDED PARKING: 9 SPACES (2 ADA ACCESSIBLE)

4 STACKING SPACES REQUIRED PER BANK TELLER WINDOW
3 BANK TELLER LANES MAXIMUM INCLUDING ATM LANE

EXISTING ASPHALT:



EXISTING CONCRETE:



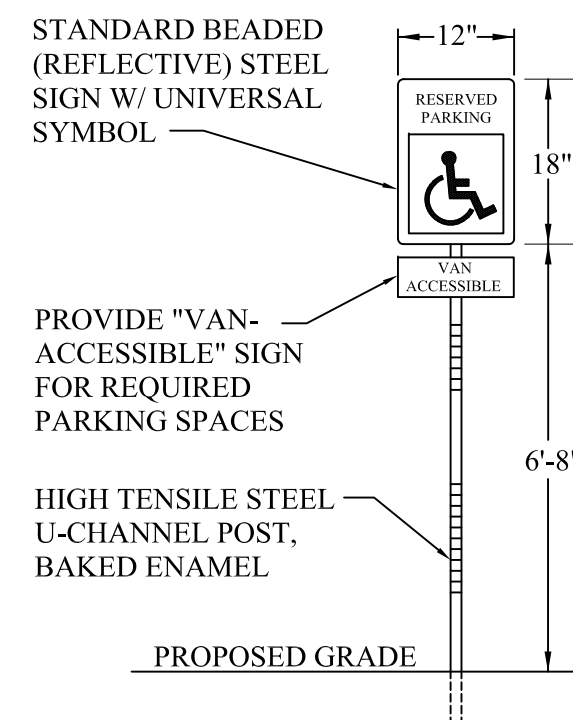
PLANT LIST:



NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
6	GREEN VELVET BOXWOOD	BUXUS 'GREEN VELVET'	24" HT. B&B	BOX

PERENNIALS:

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
8	PATRIOT HOSTA	HOSTA 'PATRIOT'	6" POT	HOS
6	BLUE OAT GRASS	HELICOTRICHON SEMPERVIRENS	6" POT	BLU
6	AUTUMN JOY SEDUM	HYLOTELEPHIUM 'HERBSTFREUDE'	6" POT	SED



BARRIER-FREE SIGNAGE DETAIL
NOT TO SCALE



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CLIENT: VIBE CREDIT UNION ANTHONY TAORMINA (248) 829-1560	DATE: 4-23-26 JOB No. 26-006 CHECKED BY: S.D.
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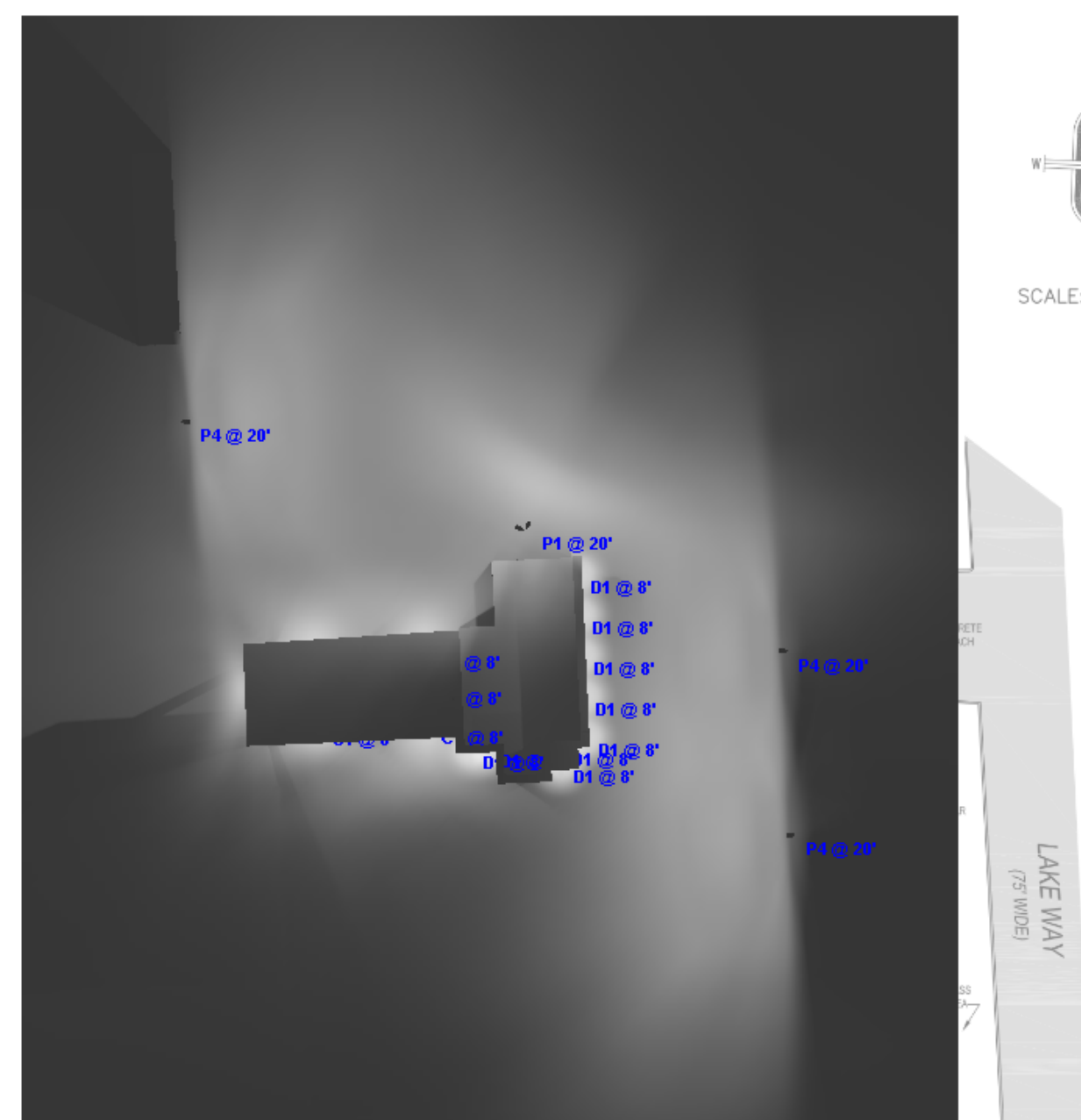
31806 GRAND RIVER AVENUE
CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN

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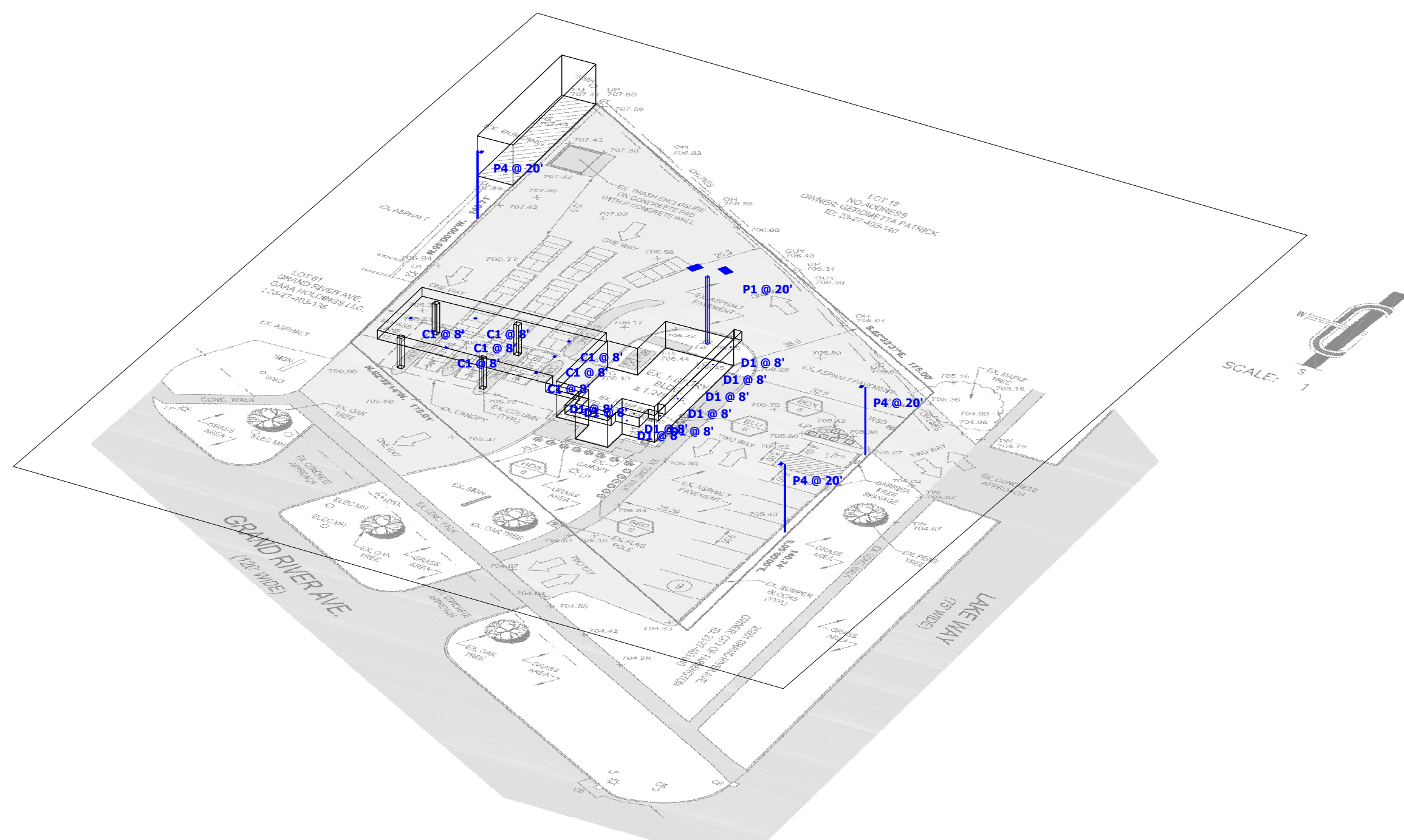
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lumens per Lamp	LLF	Wattage
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	D1	9	Lithonia Lighting	LDN4 40/05 L04 AR LSS	4IN LDN, 4000K, 500LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI	524	0.9	5.74
	P1	1	Lithonia Lighting	[...]	[...]	[...]	0.9	66.42
			Lithonia Lighting	DSXO LED P1 40K 80CRI T4M EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Medium External Glare Shield	3689	0.9	33.21
			Lithonia Lighting	DSXO LED P1 40K 80CRI T1S EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 1 Short External Glare Shield	3550	0.9	33.21
	P4	3	Lithonia Lighting	DSXO LED P2 40K 80CRI BLC3 EGS	D-Series Size 0 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield	3822	0.9	45.14

Statistics

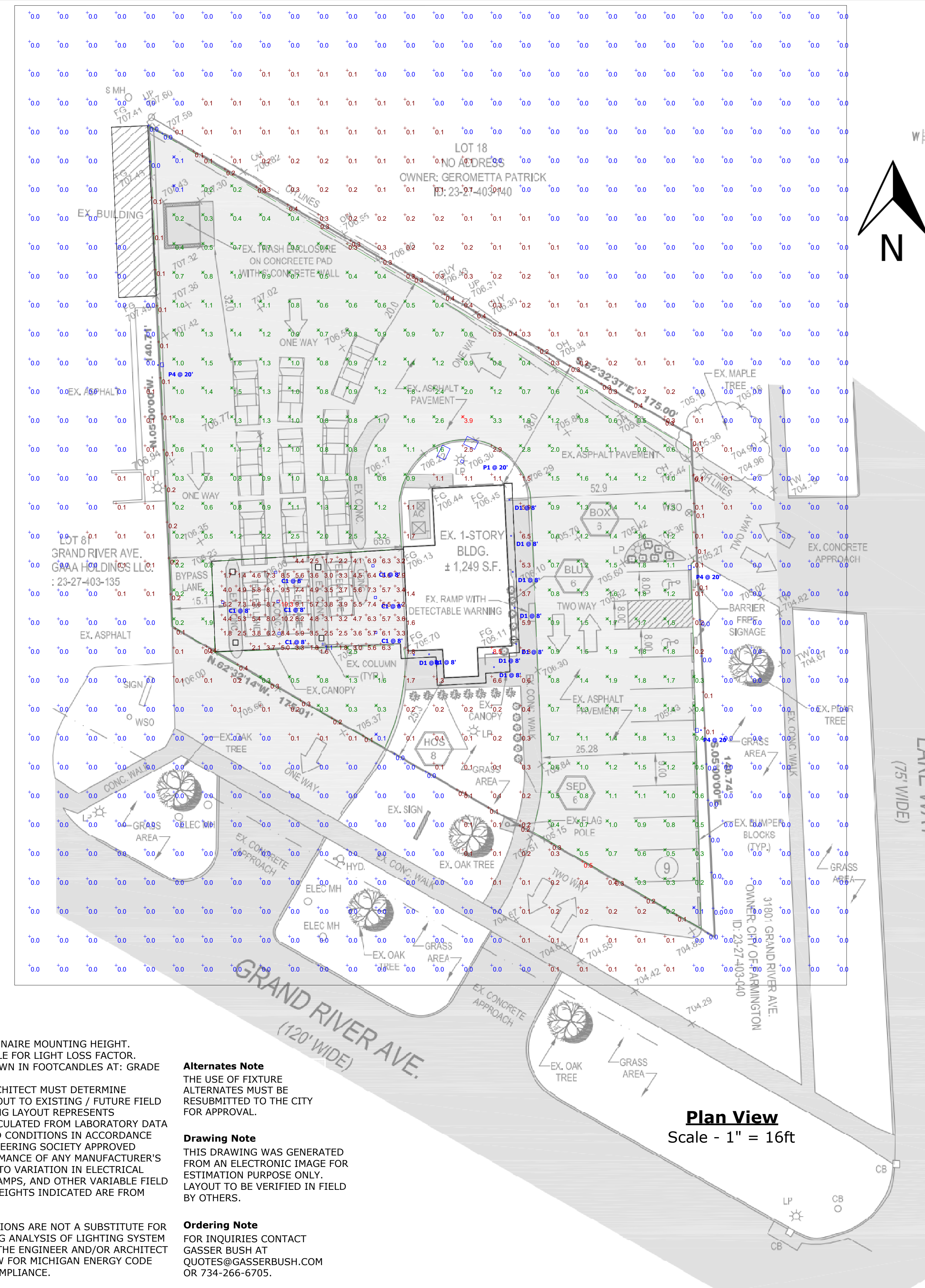
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.4 fc	8.5 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	1.0 fc	3.9 fc	0.1 fc	39.0:1	10.0:1
Property Line	+	0.2 fc	0.5 fc	0.0 fc	N/A	N/A
Under Teller Canopy	+	4.9 fc	10.3 fc	1.1 fc	9.4:1	4.5:1



Plan Rendered



South East View



Plan View
Scale - 1" = 16ft

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

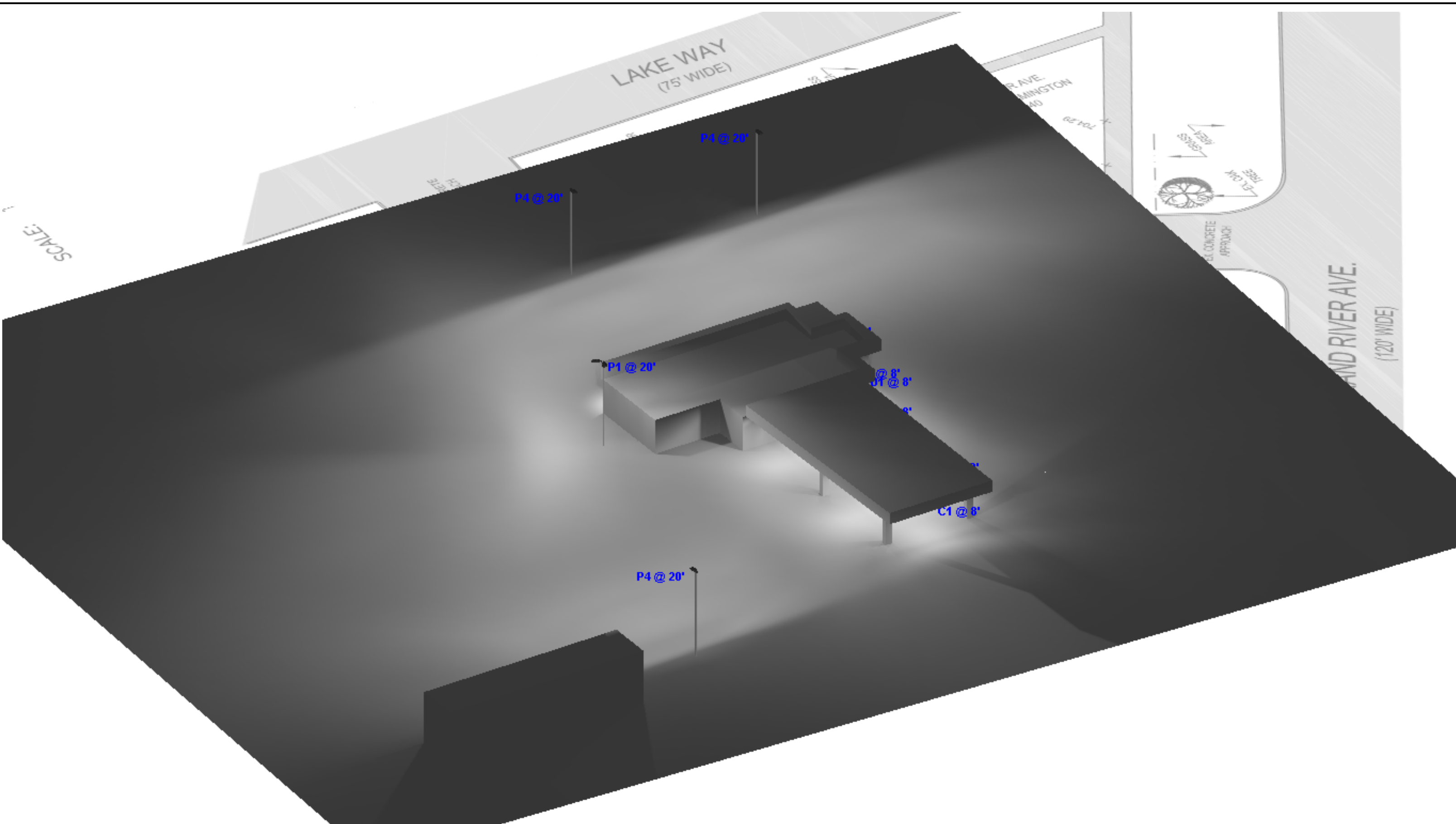
Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

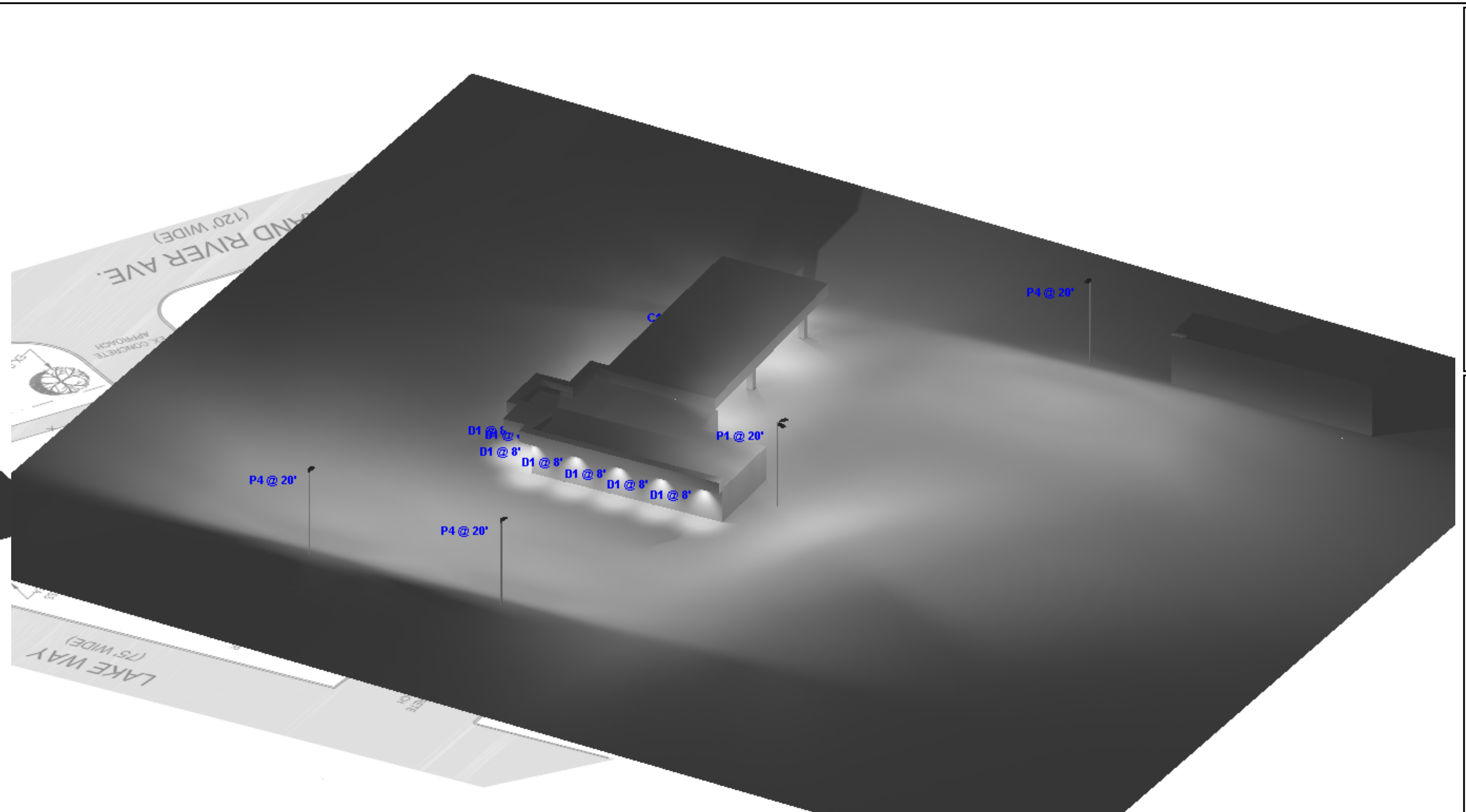


VIBE CREDIT UNION - FARMINGTON
EXTERIOR PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

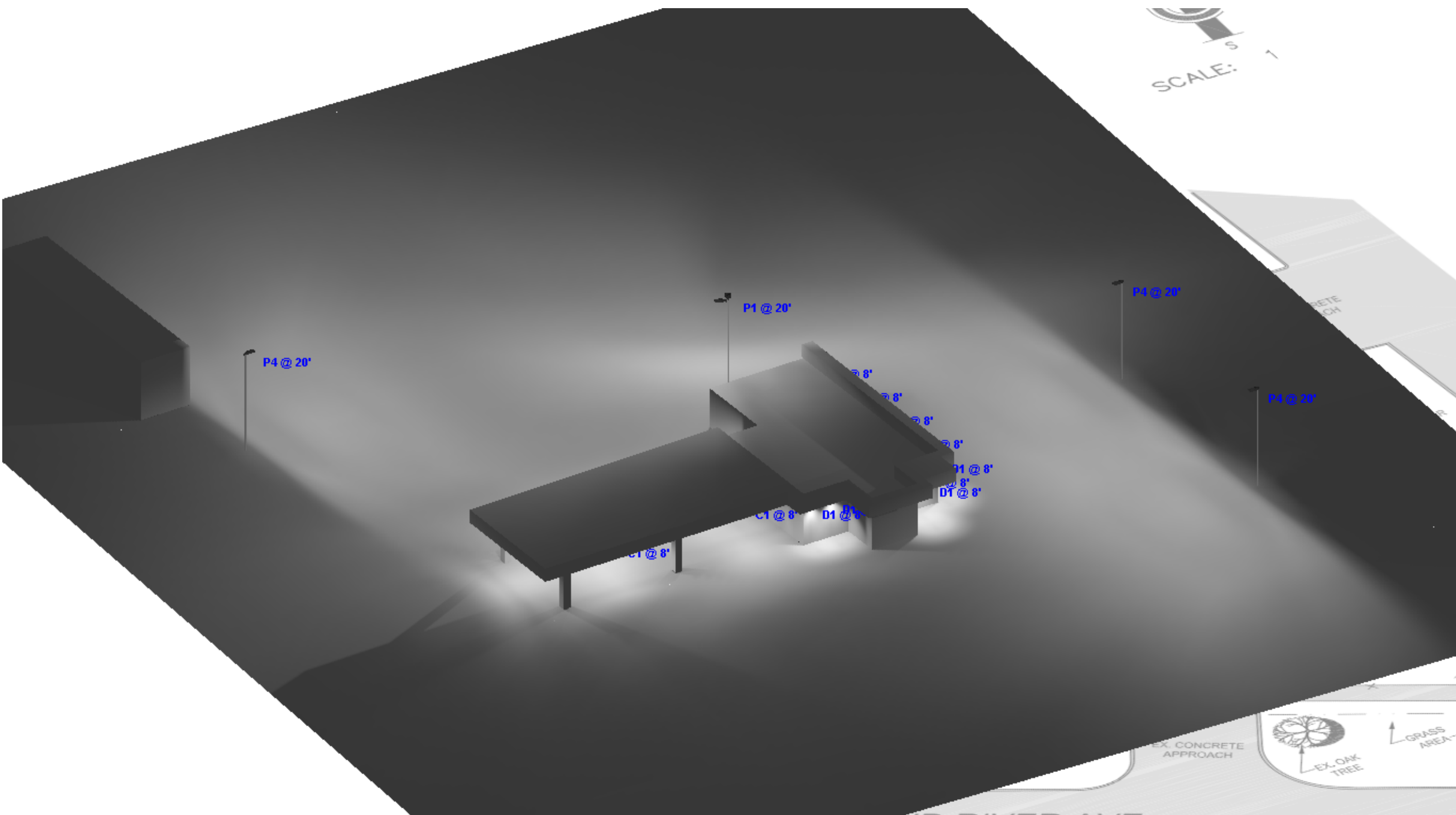
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Date
05/11/2026
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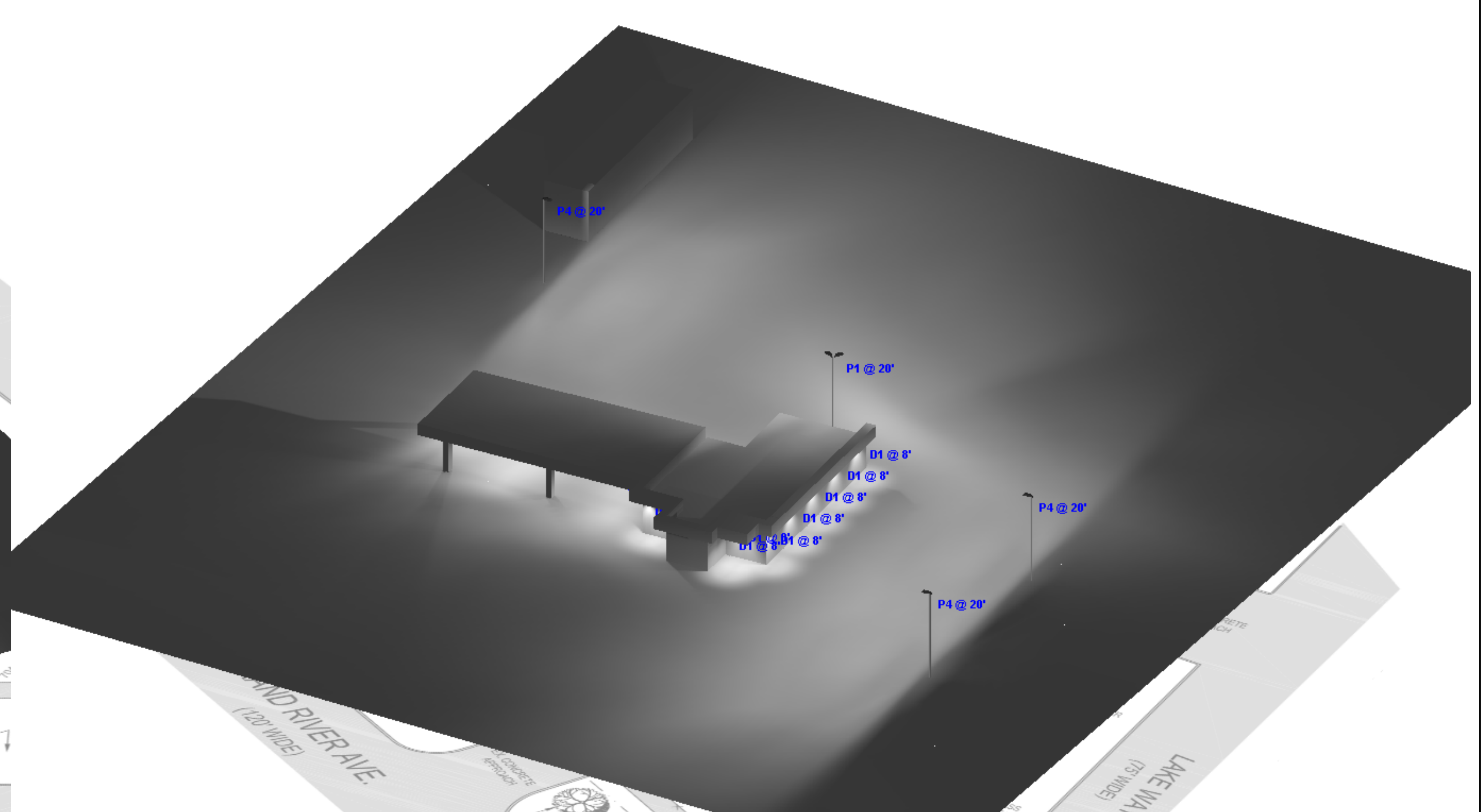
NW Rendered



NE Rendered



SW Rendered



SE Rendered



RCNY LED Recessed LED Canopy/Ceiling Luminaire



Catalog Number: _____
Notes: _____
Type: _____

Introduction

The RCNY LED recessed luminaire is designed to provide exceptional energy savings and versatility in one fixture. With a compact design the RCNY provides superior illumination while blending into the canopy space seamlessly. The RCNY is unique in that as a recessed canopy it can be installed in both 12" and 16" canopy decks. Features such as Adjustable Lumen Output Dial with 8 Settings and forward throw distribution (ASYC) option make the RCNY one of the most versatile gas station canopies in the market. Lumen dial and driver are both accessible from below. With up to 179 LPW the RCNY LED delivers up to 90% in energy savings when replacing metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the RCNY LED luminaire provides significant maintenance savings over traditional luminaires. Wet location junction box available upon request.

Specifications

Width:	RCNY LED 11.5"
Height:	5.9"
Length:	11.5"
Weight:	14lbs

Ordering Information

EXAMPLE: RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWHXD

Series	Package	Color Temperature	CRI	Lens
RCNY LED	AL01 2,000-12,000 Lumens AL02 4,000-24,000 Lumens	30K 3000K 40K 4000K 50K 5000K 57K 5700K AMBW (limited wavelength)	70CRI 80CRI 90CRI* AMCRI*	SYMC Symmetric Clear Lens ASYC Asymmetric Clear Lens SYMC Symmetric Frost Lens SYMG Symmetric Glass Lens

Voltage	Trim	Trim Finish	Option
MVOLT 120-277V HVOLT 347-480V	BZS 11.5" Square Bezel BZL 18.0" Square Bezel	DWHD White DBLK Black DBRZ Bronze DNAL Natural Aluminum	CCE Coastal Protection SPD10KV 10k Surge Protection DMG* 0-10V dimming wires (pulled outside fixture for use with an external control, ordered separately)

Accessories

Catalog	Description	Use	Dimensions
FP12RM*	RCNY Backplate for 12" Decks	Covers Existing Hole if Larger than Fixture	11.5" x 24" x 10GA Galv Steel
FP16RM*	RCNY Backplate for 16" Decks	Covers Existing Hole if Larger than Fixture	15.5" x 24" x 10GA Galv Steel
BP18RM*	RCNY 18" Beazylate	Covers Existing Footprint of Existing Fixture	18" x 18" x 16GA Aluminum
BP26RM*	RCNY 26" Beazylate	Covers Existing Footprint of Existing Fixture	26" x 26" x 16GA Aluminum
WLB02	Waterproof 2-Box 1/2 Inch with Cover	For Power Supply Wiring	2.8" x 4.6" x 2.8" Aluminum

* Add "R" to the end of the catalog number for individual unit pack or "S" for packs of 6 units.



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2" 3/4" and four 1/2" knockouts for straight-through conduits. Capacity: 8 (4 in, 4 out), No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joint spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".
OPTICS — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum, 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.
UGR — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1996 Discomfort Glare in Interior Lighting. UGR FAQ.
ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.
LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours.
LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. Drivers are RoHS compliant.

GOVERNMENT PROCUREMENT — BAA — Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations. BABA — Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-america for additional information.
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions.
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

PERFORMANCE DATA

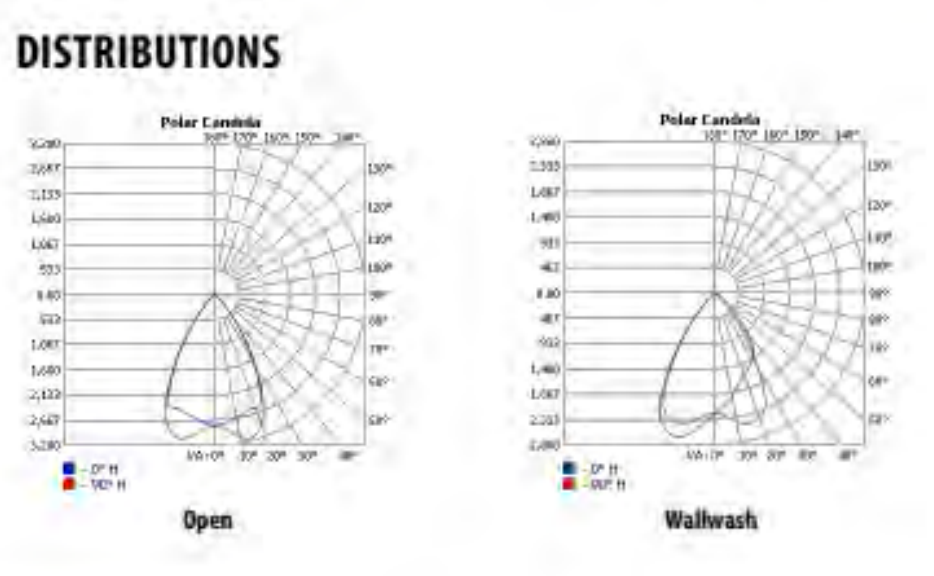
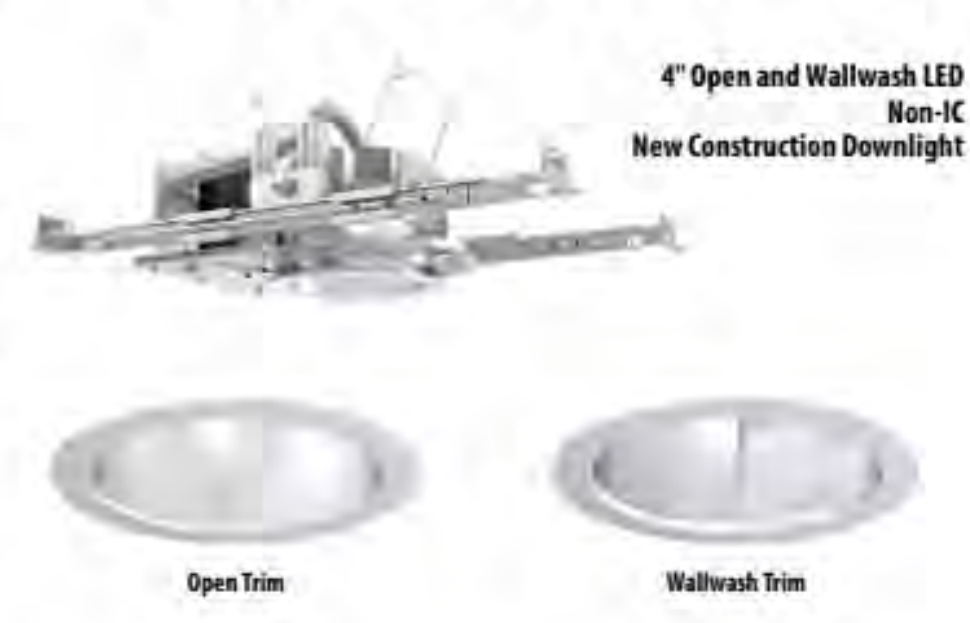
LDN4	Nominal	Lumens	Wattage	Lm/W
	500	523.6	5.74	91.2
	750	751.1	8.6	87.3
	1000	1045	10.58	98.8
	1500	1512	17.5	86.4
	2000	2006	22.12	90.7
	2500	2551	26.3	97.7
	3000	3007	32.1	93.7
	4000	4212	43	98.0

Notes
Tested in accordance with IESNA LM-79-08
Tested to current IES and NEMA standards under stabilized laboratory conditions
Based on LDN4 AR L55 35K 80CRI

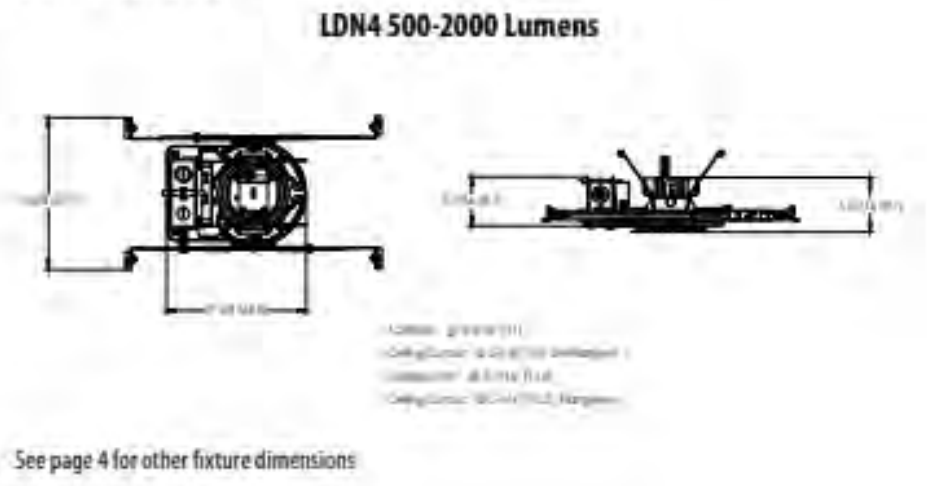


Catalog Number: _____
Notes: _____
Type: _____

LDN4 STATIC WHITE



DIMENSIONS



See page 4 for other fixture dimensions

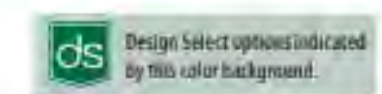
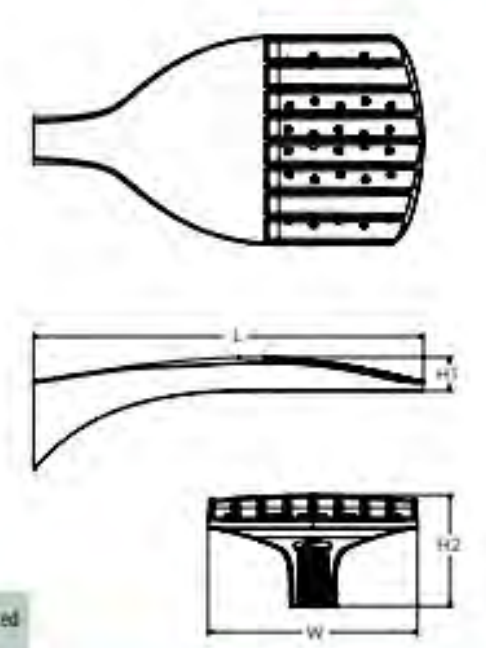


D-Series Size 0 LED Area Luminaire



Specifications

EPA:	0.44 ft ² (0.04 m ²)
Length:	26.18" (66.50 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (57.2 mm)
Height H2:	7.46" (189.3 mm)
Weight:	23 lbs (10.4 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEIS	Color Temperature	Color Rendering Index	Beam Spread	Voltage	Mounting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Related optics P10 P12 P11 P13	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I side T2M Type II medium T3M Type III medium T3LG Type III low glare T4M Type IV medium T4LG Type IV low glare T5TM Forward throw medium	MVOLT (120V-277V) HVOLT (347V-480V) 120 VAC 208 VAC 240 VAC 277 VAC 347 VAC 480 VAC	Shipped included SPA Square pole mounting (88 drilling, 3.5" min. SD pole) RPA Round pole mounting (88 drilling, 3" min. RPD pole) SPAS Square pole mounting (85 drilling, 3" min. RPD pole) RPAS Round pole mounting (85 drilling, 3" min. RPD pole) SPASN Square narrow pole mounting (88 drilling, 3" min. SD pole) WBA Wall bracket MA Mount arm adapter (mounts on 2.8" RPD base, total length)

Control options	Other options	Finish options	
Shipped installed NLTAIR2 PIRHN Right Air2 pin 2 installed with 0-10V motion / ambient sensor, 0-10V mounting height, ambient sensor enabled at 26" PIR High-flow, motion/ambient sensor, 0-10V mounting height, ambient sensor enabled at 26" PER NEMA twist-lock receptacle (controls ordered separately) PER5 Five-pin receptacle only (controls ordered separately)	PER7 Seven-pin receptacle only (controls ordered separately) FAO Field adjustable output BL10 0-10V level switched dimming, 30% BL50 0-10V level switched dimming, 50% DMG 0-10V dimming wires pulled outside fixture for use with an external control, ordered separately	Shipped installed HS Housing shield (black finish standard) L90 Left raised optics R90 Right raised optics CCE Coastal Construction HA 50°C ambient operation BAA Buy American Act and/or Build America Buy America Qualified SF Single face (120, 277, 347V) DF Double face (208, 240, 480V) Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BS08 Bird Spikes (field install required)	DDBXD Dark Bronze DBLKX Black DNALX Natural Aluminum DWHXD White DDBTDX Textured dark bronze DBLBDX Textured black DNATDX Textured natural aluminum DWHGDX Textured white



May 18, 2026

Mr. Chris Weber
Assistant City Manager
City of Farmington
23600 Liberty St
Farmington, MI 48335

Subject: Vibe Credit Union (Special Land Use Review)
Location: 31806 Grand River Ave (parcel ID: 23-27-403-141)
Zoning: C2 Community Commercial
Plan Date: April 24, 2026
Applicant: Hunter Karam

Dear Mr. Weber:

At your request we have completed our Special Land Review for the proposed Vibe Credit Union located at 31806 Grand River Ave and offer the following comments for your consideration.

The opinions in this report are based on a review of the application submitted by the applicant and conformance to all City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and their findings based on ordinance standards as part of their deliberation. Key review items in this letter are underlined for the benefit of the applicant.

PROPOSED USE

The applicant proposes to reoccupy a 1,249 SF commercial building with a drive-through window. The proposed use is a financial institution which is a use permitted by right in the C2 district; drive-through window facilities for banks, restaurants, pharmacies or other permitted uses is a special land use.

LOCATION

This C2 Community Commercial property is 0.57± acres and is located on the northwest corner of Grand River Ave and Lake Way St. The existing structure is located at the center of the parcel with two driveways off Grand River on either side of the structure and a two-way driveway onto Lake Way St at the rear of the site. The eastern, two-way driveway off Grand River Ave. leads to customer parking on the east side of the lot and provides circulation around the site, leading to a drive-through covered by a canopy on the west side of the structure. The western driveway is one-way only on Grand River Ave. Surrounding uses include a strip development to the west, a vacant parcel to the north, a financial institution to the east across Lake Way St and multiple family to the south.

SPECIAL LAND USE REVIEW

Article 12, Special Land Uses of the City of Farmington's zoning ordinance, provides standards for the Planning Commission to determine the appropriateness of a given special land use. An application for special land use must



be considered against these standards and any motion made by the Planning Commission in relation to this request must state the commission's finding of facts.

General Standards

Prior to approving a special land use application, the Planning Commission shall require that the following general standards listed in *Sec. 35-152, Standards for Approval*, be satisfied:

- 1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.**

Comment: This special land use request is compatible with the objective of increasing commercial opportunities and promoting economic growth in the City of Farmington. Additionally, the proposed business offers services that could be used by most residents and the site is designed to accommodate a drive-through window. **Meets the standard.**

- 2. Promote the intent of the zoning district in which the use is proposed.**

Comment: The intent of the C2 Community Commercial district is to create mixed-use neighborhood centers with retail services that provide convenience shopping for people residing in nearby residential areas. The intent of this district is also to concentrate businesses that harmonize with the character of the surrounding uses, and to prohibit uses that might create traffic hazards, offensive noises and late hours of operation. In this case, the proposed business is replacing a bank that was previously located on the parcel. We believe the proposed business will be in harmony with surrounding uses, and we do not anticipate that it will create traffic hazards, offensive noises or late hours of operation. **Meets the standard.**

- 3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.**

Comment: As noted above, the site was previously utilized for a financial institution with a drive through, and we see no reason the proposed use would not be compatible with the existing or intended character of the general vicinity. **Meets the standard.**

- 4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.**

Comment: This property is served adequately by public facilities and services. **Meets the standard.**

- 5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.**

Comment: We find no evidence that the proposed financial institution with a drive-through will involve any uses, activities, processes, materials and equipment or conditions of operation that would be detrimental to the surrounding area or generate excessive production of traffic, noise or other nuisances. **Meets the standard.**



Specific Standards

Prior to approving a special land use application, the Planning Commission shall require that the following specific standards listed in *Sec. 35-158, Special Land Use Specific Requirements, (J) Drive-Through Window Facilities for Banks, Restaurants, Pharmacies or Other Permitted Uses*, be satisfied:

1. **Sufficient stacking capacity in accordance with *Article 14, Parking and Loading Standards*, for the drive-through portion of the operation shall be provided to ensure that traffic does not extend into the public right-of-way.**

Comment: *Article 14*, states that four (4) stacking spaces for each drive-up teller are required for this use. The site plan shows sufficient stacking capacity for the three drive-through lanes. **Meets the standard.**

2. **A bypass lane shall be provided around the drive-through window.**

Comment: A bypass lane is shown on the west side of the structure. **Meets the standard.**

3. **In addition to parking space requirements for restaurants and pharmacies, at least three (3) parking spaces shall be provided, in close proximity to the exit of the drive-through portion of the operation, to allow for customers waiting for delivery of orders.**

Comment: This property will not be used as a restaurant or pharmacy. **Not applicable.**

4. **Direct vehicular access connections with adjacent commercial developments shall be provided where feasible as determined by the planning commission.**

Comment: We do not see a feasible location for cross-access with the adjacent commercial property to the west. **Not applicable.**

5. **The proposed clearance of any canopy shall be noted on the site plan. The canopy shall be no higher than the principal building.**

Comment: The site plan indicates that the clearance of the canopy is 8'6"; the canopy is not higher than the principal building. **Meets the standard.**

6. **Outdoor speakers for the drive-through facility shall be located in a way that minimizes sound transmission toward neighboring properties and uses.**

Comment: Outdoor speakers are not shown on the site plan. Assuming they will be utilized underneath the canopy on the west side of the structure, we believe that this location will minimize sound transmission toward neighboring properties and uses. **Meets the standard.**

RECOMMENDATION

Based upon the above analysis we **recommend approval of the Special Land Use Request for the property located at 31806 Grand River Ave (parcel ID: 23-27-403-141)**, conditioned upon the following:

1. Review and approval of all applicable City departments and consultants.
2. Planning Commission approval of the site plan for this parcel.



If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,

Kristen Hatfield

Kristen Hatfield, AICP
Senior Planner

cc: Jennifer Morris, Principal, OHM
Austin Downie, Client Representative, OHM

**Farmington Planning Commission
Staff Report**

Meeting Date:
May 28, 2026

**Reference
Number**

Submitted by: Chris Weber, Assistant City Manager

Agenda Item: Special Land Use Review - 31806 Grand River Avenue, Vibe Credit Union

Requested Action

Move to approve the Special Land Use for 31806 Grand River Avenue, Vibe Credit Union, for the use of a bank with a drive-through facility because it meets the Standards for Approval for a Special Land Use, Sec. 35-152 as follows:

1. The proposed use will be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because this special land use request is compatible with the objective of increasing commercial opportunities and promoting economic growth in the City of Farmington. Additionally, the proposed business offers services that could be used by most residents and the site is designed to accommodate a drive-through window.
2. The proposed use will promote the intent of the zoning district in which the use is proposed because the intent of the C2 Community Commercial district is to create mixed-use neighborhood centers with retail services that provide convenience shopping for people residing in nearby residential areas. The intent of this district is also to concentrate businesses that harmonize with the character of the surrounding uses, and to prohibit uses that might create traffic hazards, offensive noises and late hours of operation. In this case, the proposed business is replacing a bank that was previously located on the parcel. We believe the proposed business will be in harmony with surrounding uses, and we do not anticipate that it will create traffic hazards, offensive noises or late hours of operation, because the subject parcel will provide an office use that is professional in nature while also serving as a transitional area between residential to the north and commercial to the south, and providing a buffer for residential neighborhoods and arterial roadways.
3. The proposed use will be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed because the site was previously utilized for a financial institution with a drive-through, and will again be used for the same purpose.
4. The proposed use will be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools, because all of these facilities are existing.
5. The proposed use of a financial institution with a drive-through would not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.

Or

Move to deny the Special Land Use for 31806 Grand River Avenue, Vibe Credit Union, for the use of a bank with a drive-through facility because it does not meet the Standards for Approval for a Special Land Use, Sec. 35-152 as follows:

1. The proposed use will not be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because_____.
2. The proposed use will not promote the intent of the zoning district in which the use is proposed, because_____.
3. The proposed use will not be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed, because_____.
4. The proposed use will not be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools, because all of these facilities are existing.
5. The proposed use will involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance, because_____.

Background

The 31806 Grand River Avenue, Vibe Credit Union Special Land Use will have been introduced during the public hearing and any comments from the public presented. For this agenda item, the Commission will decide whether to approve or deny the request.

This property is located in the Grand River Corridor Improvement Authority (GRCIA). The Special Land Use was reviewed by the GRCIA at their May 14, 2026 meeting and is recommended for approval.

Attachments:

Application Excerpt
Site Plan

OHM Review Letter for 31806 Grand River Avenue, Vibe Credit Union date May 18, 2026
Standards for Approval for a Special Land Use, Sec. 35-152

Agenda Review

Department Head	Finance/Treasurer	City Attorney	City Manager
------------------------	--------------------------	----------------------	---------------------

Sec. 35-152. Standards for Approval.

- A. Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in section 35-158, special land use specific requirements, be satisfied. The proposed use or activity shall:
1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
 2. Promote the intent of the zoning district in which the use is proposed.
 3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.
 4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.
 5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.
- B. Properties for which application for special land use approval is made shall also be subject to site plan review in accordance with the requirements of Article 13, Site Plan Review. Failure to obtain site plan approval will constitute denial of the approved special land use.

(Ord. No. C-746-2010, § 1, 4-19-10)

**Farmington Planning Commission
Staff Report**

**Planning Commission
Date:** May 28, 2026

**Reference
Number**

Submitted by: Chris Weber, Assistant City Manager

Description Site Plan Review – 31806 Grand River Avenue, Vibe Credit Union

Motion:

Motion to approve the site plan for 31806 Grand River Avenue, Vibe Credit Union conditioned upon completion and approval of the items contained in OHM's Site Plan Review Letter dated May 21, 2026 and OHM's Engineering Review Letter dated May 18, 2026.

OR

Motion to approve the site plan for 31806 Grand River Avenue, Vibe Credit Union conditioned upon completion and approval of the items contained in OHM's Site Plan Review Letter dated May 18, 2026, OHM's Engineering Review Letter dated May 21, 2026, and the following conditions:_____

OR

Motion to deny the site plan for 31806 Grand River Avenue, Vibe Credit Union because:

Background

This item is a review of a site plan for 31806 Grand River Avenue, Vibe Credit Union.

The applicant will be at the meeting to review the proposed site plan with the Commission.

Attachments:

- Site Plan
- OHM's Site Plan Review Letter dated May 18, 2026



May 18, 2026

Mr. Chris Weber
Assistant City Manager
City of Farmington
23600 Liberty St
Farmington, MI 48335

Subject: Vibe Credit Union (Site Plan Review)
Location: 31806 Grand River Ave (parcel ID: 23-27-403-141)
Zoning: C2 Community Commercial
Plan Date: April 24, 2026
Applicant: Hunter Karam

Dear Mr. Weber:

At your request we have completed our Site Plan Review for the proposed Vibe Credit Union located at 31806 Grand River Ave and offer the following comments for your consideration.

The opinions in this report are based on a review of the application submitted by the applicant and conformance to all City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and their findings based on ordinance standards as part of their deliberation. Key review items in this letter are underlined for the benefit of the applicant.

PROPOSED USE

The applicant proposes to reoccupy a 1,249 SF commercial building with a drive-through window. The proposed use is a financial institution which is a use permitted by right in the C2 district; drive-through window facilities for banks, restaurants, pharmacies or other permitted uses is a special land use. We reviewed the special land use request in a separate letter.

LOCATION

This C2 Community Commercial property is 0.57± acres and is located on the northwest corner of Grand River Ave and Lake Way St. The existing structure is located at the center of the parcel with two driveways off Grand River Ave. on either side of the structure and a two-way driveway onto Lake Way St. at the rear of the site. The eastern, two-way driveway off Grand River Ave. leads to customer parking on the east side of the lot and provides circulation around the site, leading to a drive-through covered by a canopy on the west side of the structure. The western driveway is one-way only on Grand River Ave. Surrounding uses include a strip development to the west, a vacant parcel to the north, a financial institution to the east across Lake Way St and multiple family to the south.



Aerial of site located at 31806 Grand River.



Streetview of site located at 31806 Grand River.

SITE PLAN REVIEW COMMENTS

Article 13, Site Plan Review of the City of Farmington’s zoning ordinance, states which uses are subject to site plan review and provides standards of site plan approval for the Planning Commission.

1. **Site Plan (§35-163).** The site plan submittal package was complete and contained all required information.
2. **Use(s) (§35-102).** The proposed use, a financial institution, is a use permitted by right; the drive-through window facility is a special land use. Surrounding uses, zoning and future land uses designations include:

	Land Use	Current Zoning	Future Land Use Designation
Subject Parcel	Former bank	C2, Community Commercial	Mixed Use
North	Vacant	R1P, Single-Family Parking	Low Density Residential
South	Multiple family	R4, Multiple-Family Res (1BR)	Mixed Use
East	Bank	C2, Community Commercial	Mixed Use
West	Strip development	C2, Community Commercial	Mixed Use



3. **Lot and Yard Requirements (§35-103).** *Sec. 35-103, Lot and Yard Requirements for C2, C3 and RO Districts* details the lot and yard requirements for the C2 district. As the applicant is proposing to reoccupy an existing site and drive-through without expanding the building footprint, we did not evaluate the site against these standards.
4. **Site Design Characteristics.** Site design is existing, non-conforming. In our review we found no substantial issues with the current design of the site that need to be corrected or improved at this time.
5. **Building Design (§35-53).** The building design must relate to the surrounding environment as it pertains to texture, scale, mass, proportion and color and quality materials should be incorporated into the new development in accordance with the requirements of *Sec. 35-53, Nonresidential Design Requirements*.
 - a. **Building Location and Orientation.** The building has at least one (1) principal building entrance oriented toward the front lot line.
 - b. **Exterior Building Design.** While a breakdown of façade materials was not provided, the elevations on Sheet A-202 appear to show windows making up at least twenty (20) percent of the exterior wall facing the public street. Additionally, the exterior walls utilize a variety of materials, as required by the ordinance.
 - c. **Architectural Features.** We note that the applicant is working within the constraints of the existing site design while incorporating architectural enhancements to improve the overall appearance of the building.
 - d. **Building Materials.** Proposed façade materials are detailed on Sheet A-202 and include existing brick (to be painted grey), architectural panels (on both the building and the canopy), flat lock aluminum siding and stone veneer. We find these materials to be characteristic of Michigan and to meet the intent of the ordinance. The applicant proposes a standing seam metal roof. Metal roofs may be allowed if deemed by the Planning Commission to be compatible with the overall architectural design of the building.
 - e. **Signs.** Signs were not included in the site plan submittal. The applicant must apply to the Building Department for any proposed signs.
 - f. **Building and Sign Colors.** Exterior colors shall be of low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors such as neon, metallic or fluorescent for the façade and/or roof of the building are prohibited except as approved by the Planning Commission for building trim. The building as proposed is predominantly neutral/earth tone in color. The Planning Commission should determine if the lime green on the pillar of the street-facing façade is acceptable.
 - g. **Roof Design.** The roof, as shown on the elevations, meets the intent of the ordinance.
 - h. **Customer Entrances.** The main customer entrance is clearly defined and highly visible.
 - i. **Community Amenities.** No community amenities are proposed.
 - j. **Natural Features.** There are no notable natural features on site.



6. **Change of Use and Redevelopment.** For changes of use and site alterations or building expansions, the Planning Commission shall determine the extent of improvement required in relation to the extent of change proposed. From our review, we believe that the applicant has proposed sufficient improvements to the site with the exception of the landscaping.
7. **Access, Driveways and Circulation (§35-171).** Per the ordinance, drives, streets, parking and other elements should be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. Access to the site should also be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. In the interest of safe circulation, we recommend making the eastern driveway from Grand River one-way, rather than the two-way driveway that is proposed.
8. **Emergency Vehicle Access.** A circulation plan was not provided as part of the site plan submittal; we defer to the comments of public safety and engineering.
9. **Sidewalks, Pedestrian and Bicycle Circulation (§35-45).** A continuous pedestrian walkway is provided from the sidewalk to the building entrance.
10. **Parking (§35-172 and §35-173).** Numerical parking requirements for this use are five (5) spaces per one thousand (1,000) square feet of gross usable space and one (1) ADA accessible parking space. In addition, the drive-through use requires four (4) stacking spaces per teller window. The site meets the parking requirements of the ordinance. Additionally, we note that per *Sec. 35-173, Off-Street Parking Space Layout, Standards, Construction and Maintenance*, parking spaces are required to be a minimum of nine (9) feet wide and eighteen (18) feet long. The length of the proposed parking space is not indicated on the site plan; applicant should confirm that they are at least eighteen (18) feet long.
11. **Loading (§35-174).** No loading space is shown on the site plan; this use does not appear to require a separate loading space.
12. **Waste Receptacles (§35-51).** There is an existing dumpster enclosure in the northwest corner of the site. Enclosures are required to be constructed of material that matches the building. The applicant should revise the site plan to note that the dumpster enclosure will be painted the same color as the building.
13. **Lighting (§35-48).** The photometric plan shows four (4) pole mounted lights mounted at twenty (20) feet high located around the perimeter of the lot, seven (7) canopy lights and eight (8) wall-mounted light fixtures. The light levels across the site adhere to the restrictions detailed in the ordinance and all proposed fixtures are fixed and pointed downward to prevent offsite glare.
14. **Mechanical Equipment and Utilities (§35-52).** The roof appears to screen any roof-mounted mechanical equipment from the right-of-way. Ground-mounted mechanical equipment is shown on the west side of the structure. The landscape plan should be revised to screen this equipment from public view with a solid wall, fence, plantings, berms and/or other decorative features at a height sufficient to screen the equipment.
15. **Landscaping (§35-184).** Landscaping requirements for this site are as follows:

	Required	Proposed	Comment
Interior	Landscaping or ground cover on all areas without buildings/impervious surface.	The applicant has proposed a mixture of hosta, sedum and ornamental grass along	Meets standard.



		the front and east side of the building.	
Frontage	10' wide greenbelt with 1 canopy tree and 6 shrubs per 30 linear feet of road frontage or a hedgerow. The applicant has approx. 175' of frontage which would require 6 trees and 35 shrubs.	The site plan shows 3 existing canopy trees along the frontage. No shrubs are proposed. We note that there does not appear to be room for 3 additional trees but there may be room for 1 additional tree.	Does not meet standard. <u>The applicant should revise the landscape plan to provide the required greenbelt plantings.</u>
Buffer	N/A	N/A	Not applicable to this site.
Walls	N/A	N/A	Not applicable to this site.
Parking Lot	At least one (1) canopy tree and one hundred (100) square feet of landscape area shall be provided per eight (8) parking spaces. One canopy tree required.	The applicant proposes 6 boxwood shrubs in the landscape area on the east side of the building.	Does not meet standard. <u>The applicant should revise the landscape plan to provide the required canopy tree in the parking lot.</u>
Waste receptacle, mechanical equipment and utility screening	The mechanical equipment on the west side of the building should be screened.	No screening was proposed for the ground-mounted mechanical equipment. Waste receptacle is screened. No utilities are shown on site plan.	Does not meet standard.

We also note that per *Sec. 35-171, General Requirements*, where parking is in the front or side yard in the C2 District, a continuous landscape hedgerow or brick street wall with a height of at least three (3) feet shall be provided between the parking lot and the right-of-way line.

16. Installation, Irrigation and Maintenance (§35-184). All landscaped areas shall be provided with an underground irrigation system. The applicant must indicate the type and location of irrigation system on the landscape plan.

RECOMMENDATION

Based upon the above analysis we **recommend approval of the site plan for the property located at 31806 Grand River Ave (parcel ID: 23-27-403-141)**, conditioned upon the following:

1. Determination by the Planning Commission that the proposed metal roof is compatible with the overall architectural design of the building.
2. Determination by the Planning Commission that the proposed lime green on the pillar of the street-facing façade is acceptable.
3. Conversion of the eastern driveway on Grand River from two-way to one-way (entrance only).
4. Applicant confirmation that parking spaces are at least eighteen (18) feet long. If they are not, the site plan should be revised to provide parking spaces that meet the requirements of the ordinance.
5. The applicant should revise the site plan to note that the dumpster enclosure will be painted the same color as the building.



6. Revise the landscape plan to show screening of the ground-mounted equipment on the west side of the building from public view with a solid wall, fence, plantings, berms and/or other decorative features at a height sufficient to screen the equipment.
7. Revise the landscape plan to provide the required greenbelt plantings.
8. Revise the landscape plan to provide the required canopy tree in the parking lot.
9. Revise the landscape plan to provide a hedgerow or brick street wall with a height of at least three (3) feet between the parking lot and the right-of-way line. This is a requirement for parking in the front or side yard in the C2 District.
10. The applicant must indicate the type and location of irrigation system on the landscape plan.
11. Review and approval of all applicable City departments and consultants.
12. Planning Commission approval of the special land use request for this parcel.

If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,

Kristen Hatfield, AICP
Senior Planner

cc: Jennifer Morris, Principal, OHM
Austin Downie, Client Representative, OHM

**Farmington Planning Commission
Staff Report**

**Planning Commission
Date:** May 28, 2026

**Reference
Number**

Submitted by: Chris Weber, Assistant City Manager

Description Site Plan Review – 33224 Grand River Avenue, Farmington Village Place

Motion:

Motion to approve the site plan for 33224 Grand River Avenue, Farmington Village Place conditioned upon completion and approval of the items contained in OHM's Site Plan Review Letter dated May 21, 2026 and OHM's Engineering Review Letter dated May 21, 2026.

OR

Motion to approve the site plan for 33224 Grand River Avenue, Farmington Village Place conditioned upon completion and approval of the items contained in OHM's Site Plan Review Letter dated May 21, 2026, OHM's Engineering Review Letter dated May 21, 2026, and the following conditions: _____

OR

Motion to deny the site plan for 33224 Grand River Avenue, Farmington Village Place because:

Background

This item is a review of a site plan for 33224 Grand River Avenue, Farmington Village Place.

The development is located in the Thomas & Warner focus area of the Farmington Forward Master Plan 2025 and aligns with the vision for a mixed-use redevelopment with ground-floor retail and upper-story residential units. See attached excerpt from the plan.

This mixed-use development is located in the Central Business District and is therefore required to be reviewed by the Downtown Development Authority Design Committee. The DDA Design Committee reviewed this development and draft Committee minutes are included in this packet. The items recommended by the Committee were addressed by the applicant in the plans that were submitted for OHM's review.

The applicant will be at the meeting to review the proposed site plan with the Commission.

Attachments:

- Site Plan
- Material Information
- Street Rendering from East, West, and Rear

- OHM's Site Plan Review Letter dated May 21, 2026
- OHM's Engineering Review Letter dated May 21, 2026
- DDA Design Committee Draft Minutes dated May 13, 2026
- Farmington Forward Master Plan 2025 Excerpt



STREET VIEW RENDERING



PARKING LOT VIEW RENDERING

DRAWING INDEX

ARCHITECTURAL

- P1 COVER SHEET, PROPOSED PLANS, ELEVATIONS
- P2 PROPOSED SITE & CARPORT INFORMATION
- P3 PROPOSED BASEMENT & 1ST FLOOR PLANS
- P4 PROPOSED 2ND FLOOR PLAN
- P5 PROPOSED 3RD FLOOR PLAN
- P6 PROPOSED 4TH FLOOR PLAN
- P7 PROPOSED ROOF PLAN
- P8 PROPOSED 2ND FLOOR FRAMING PLAN
- P9 PROPOSED PLAN DETAILS
- P10 PROPOSED NORTH & SOUTH ELEVATIONS
- P11 PROPOSED EAST & WEST ELEVATIONS
- P12 PROPOSED BUILDING SECTION

CIVIL

- SP0 COVER SHEET
- SP1 BOUNDARY - TOPOGRAPHIC SURVEY
- SP2 DIMENSIONAL SITE PLAN
- SP3 PAVING AND GRADING PLAN
- SP4 CONTECH DETENTION SYSTEM DETAILS

LANDSCAPE

- L1 LANDSCAPE PLAN

PHOTOMETRICS

- 1 OF 1 QUICK CALC V2

THE FARMINGTON

33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 14 MAY 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026

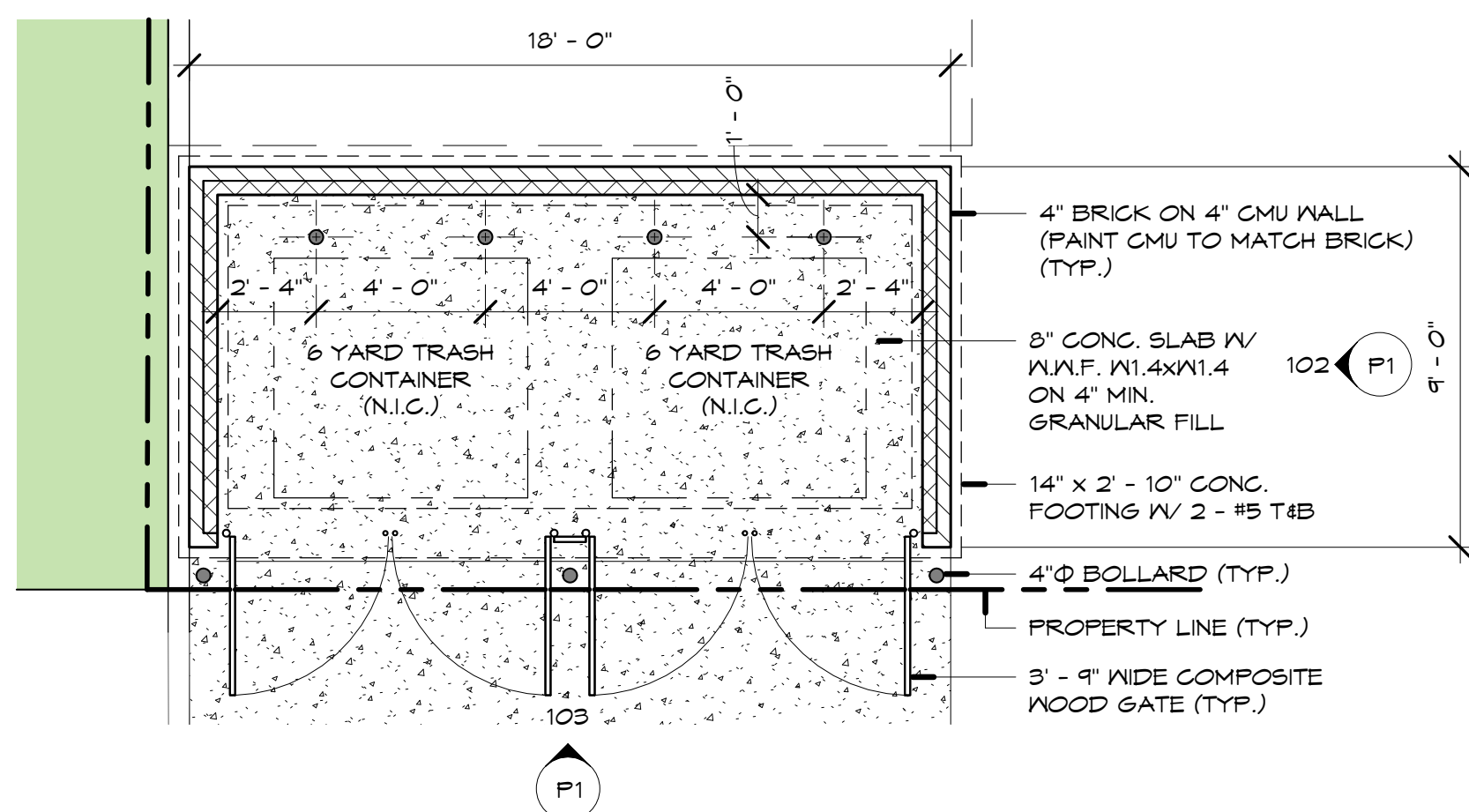
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COVER SHEET, PROPOSED PLANS, ELEVATIONS

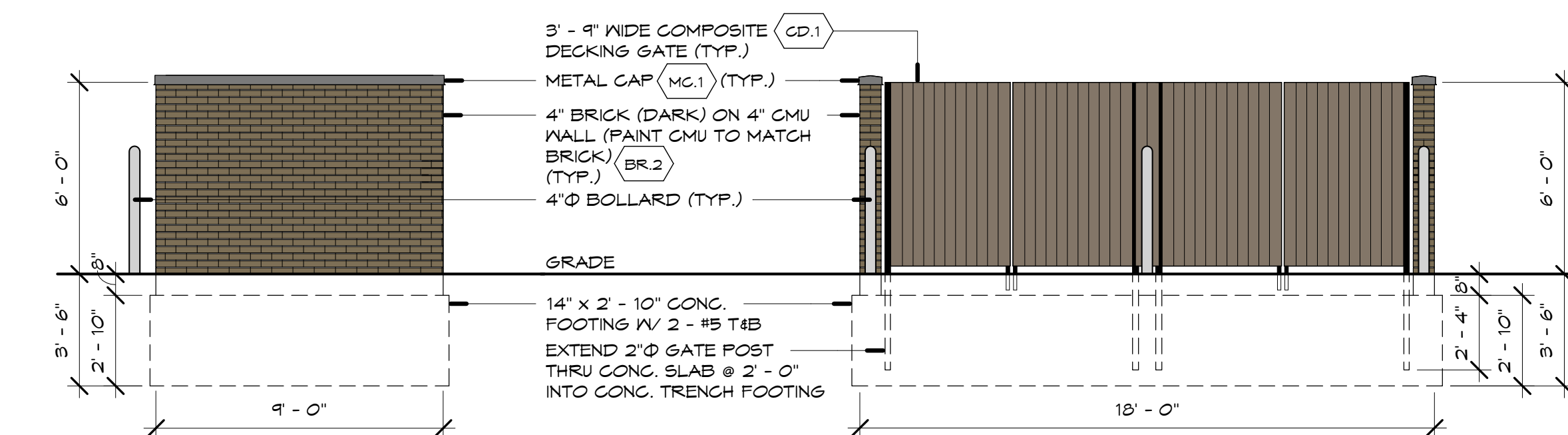
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25029 P1

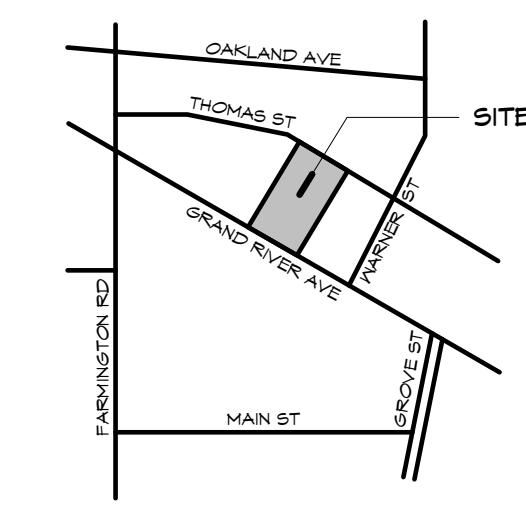
Date Printed:



101 ENLARGED PLAN @ TRASH ENCLOSURE
 SCALE: 1/4" = 1'-0"



102 TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"



VICINITY MAP
 SCALE: No Scale

LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
 LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.

ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336
 TAX ID: 23-27-153-021
 CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

Site/Building Data

Existing Site Area:	30,000 Sq Ft+ 0.69 Acres
Proposed Building	59,149 Gross Sq Ft
Basement	3,684 Gross Sq Ft
1st Floor:	13,153 Gross Sq Ft
Retail	12,375 Gross Sq Ft
Miscellaneous	778 Gross Sq Ft
2nd Floor:	14,104 Sq Ft 11 Condo Units
3rd Floor:	14,104 Sq Ft 11 Condo Units
4th Floor:	14,104 Sq Ft 11 Condo Units

Zoning Sec. 4.18: CBD - Central Business District

Uses Permitted:
 Table. 35-102: Retail Businesses under 50,000 sq ft
 Residential Dwellings in upper stories of mixed-uses buildings

Sec. 35-104.A. Area and Bulk Requirements

Setback:

Front (Within 3 feet of Front Line):	4'-4"± & 8'-4"±	Proposed
Side (None Side Line if Fire Wall):	0'-0" & 4"	Proposed
Rear (None):	99'-6"±	Proposed

Bldg Height:

Minimum (24 Ft & 1 Story):	NA	Proposed
Maximum (45 Ft & 4 Stories):	46 Ft & 4 Stories	Proposed

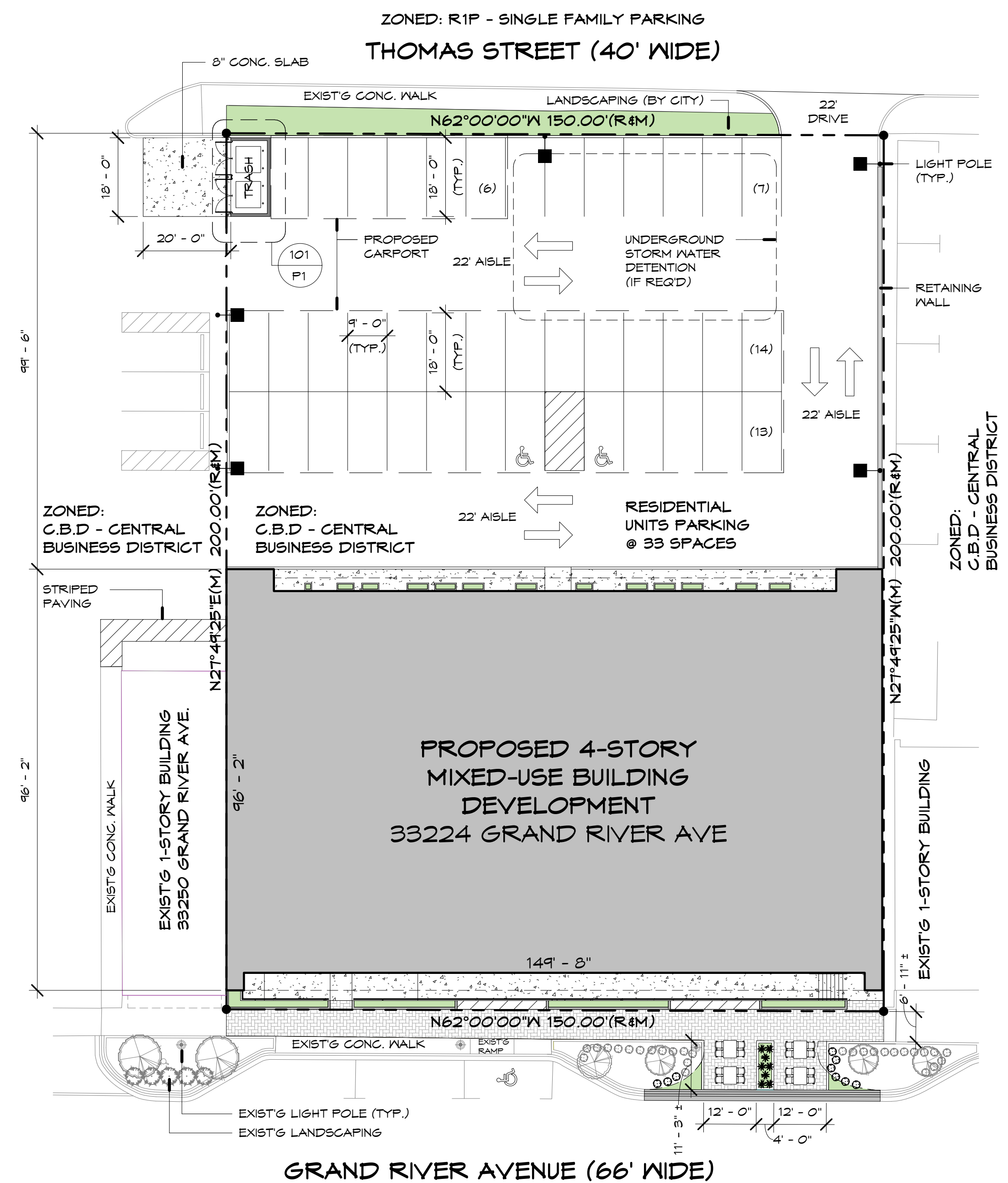
Max Bldg 40% Lot Coverage:	12,000	Sq Ft Max Allowed
	13,153	Sq Ft Actual
		43.84%

Off-Street Parking:

Sec. 35-172 Parking:	66	Spaces Required
Multi-Family (2/Dwellings)	33	Spaces Provided
Retail (4/1000 Sq Ft)	50	Spaces Provided
	7	Spaces Required
	116	Spaces Provided
	40	Spaces Provided

Loading/Unloading:

Sec. 35-174:	Size: 10' x 50'	Spaces Required
	5,000 to 20,000 Gross Sq Ft: 1 space	Spaces Provided
	None	



GRAND RIVER AVENUE (66' WIDE)

ZONED: C.B.D - CENTRAL BUSINESS DISTRICT

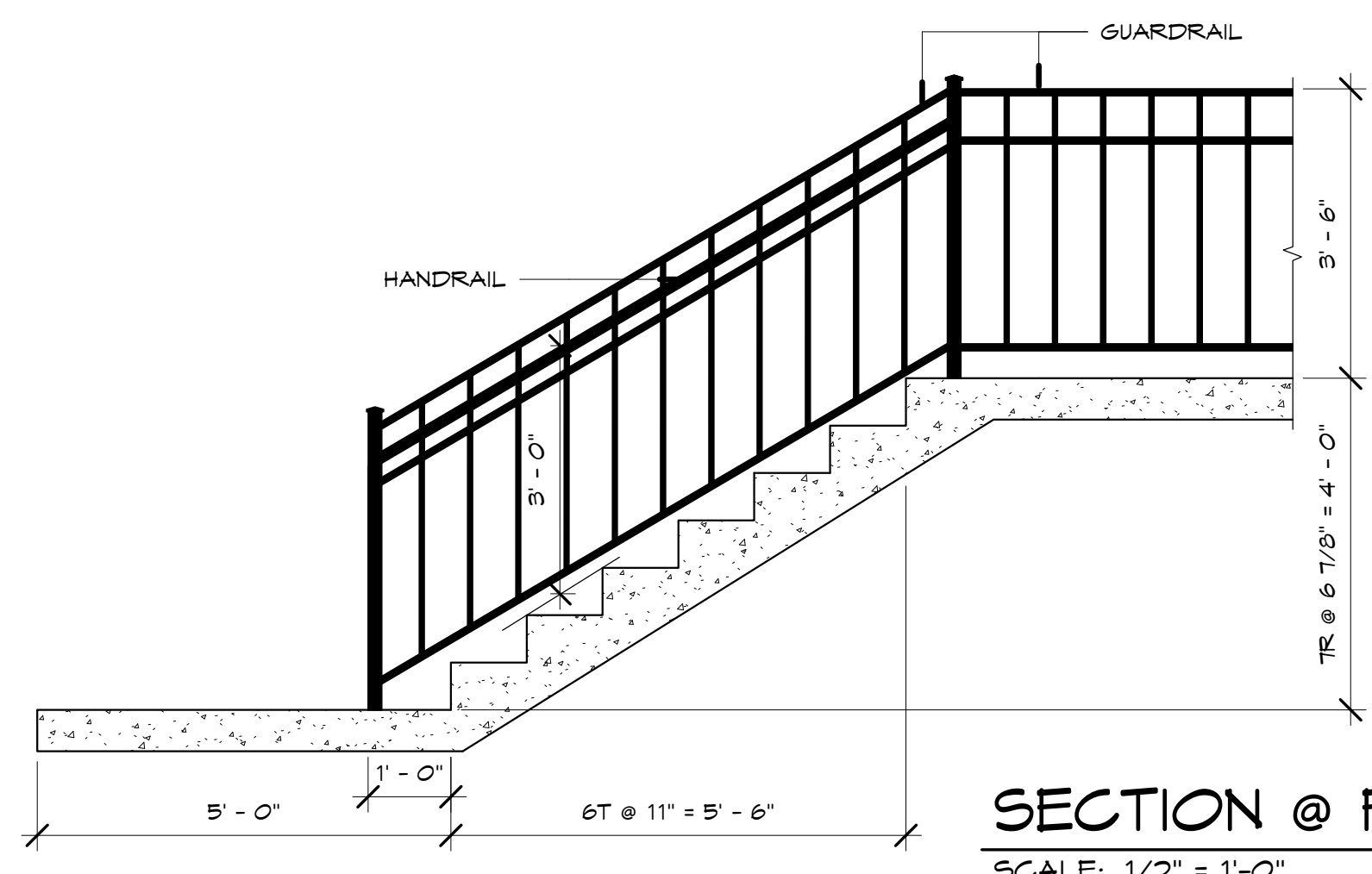
NOTE: NOT TO BE USED AS CONSTRUCTION DRAWINGS

PROPOSED SITE PLAN

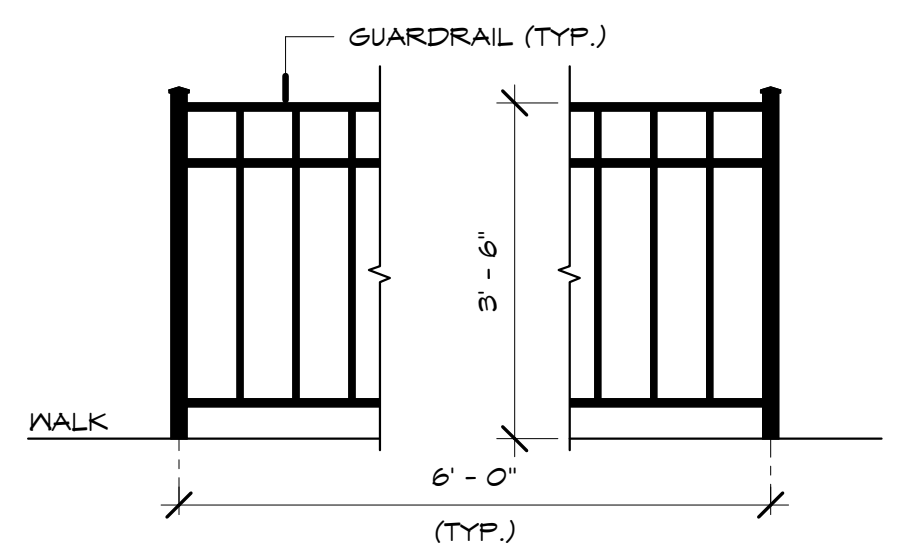
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0.69 ACRES

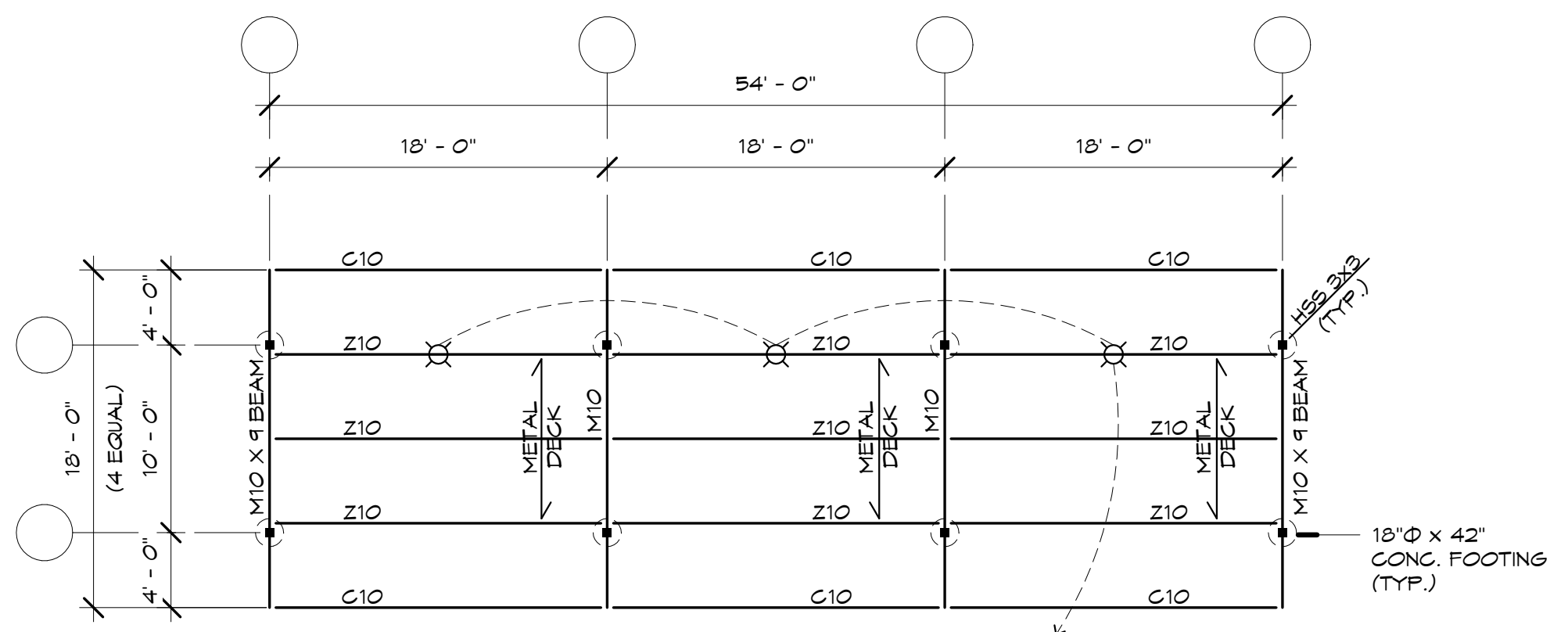




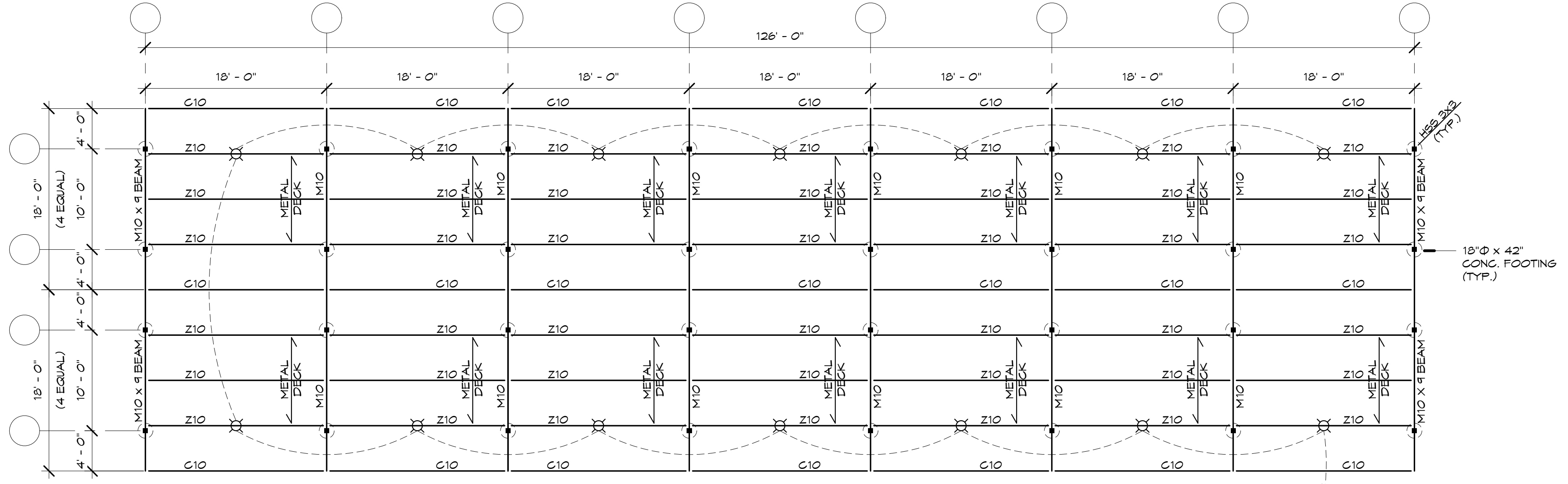
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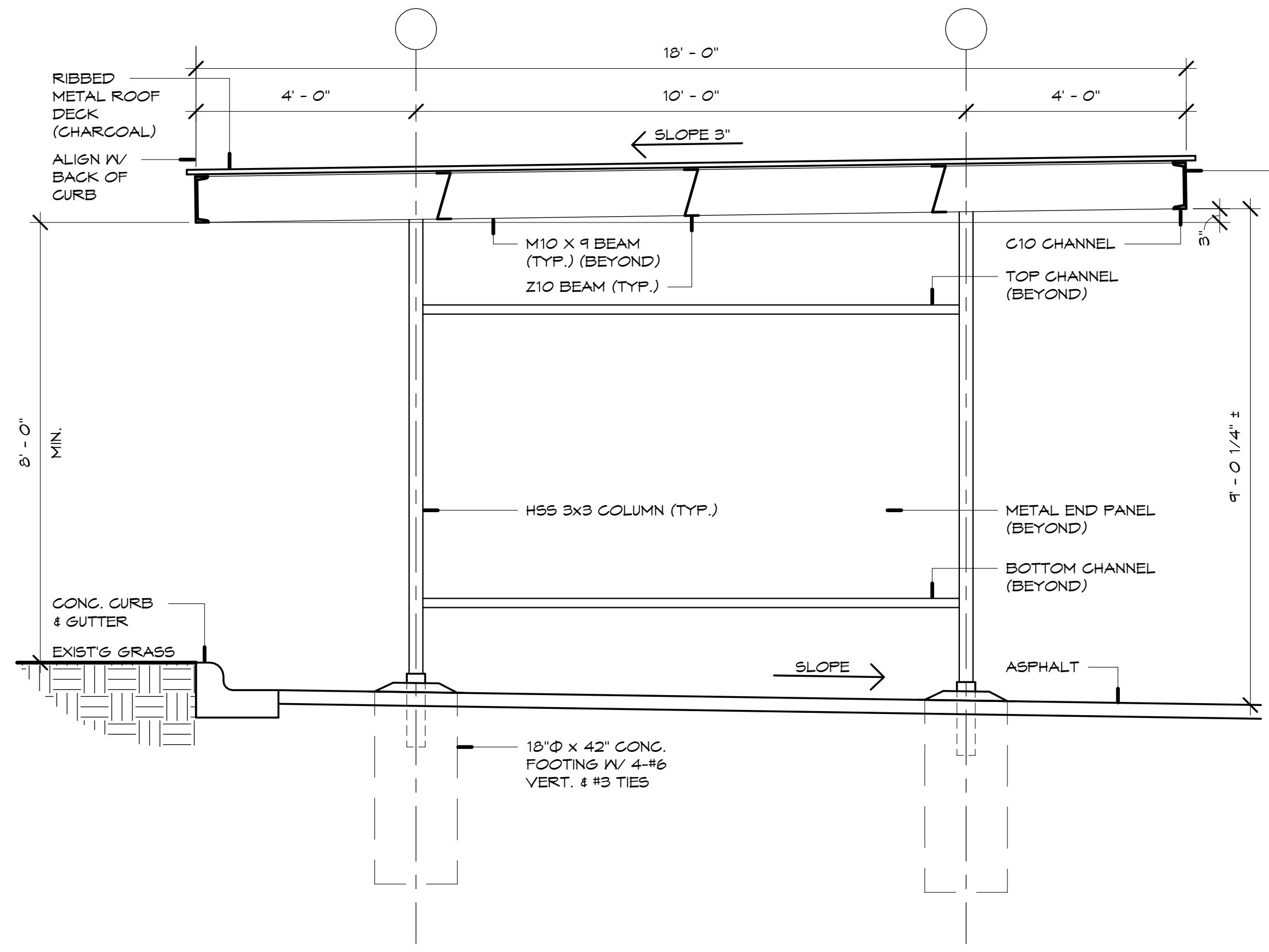
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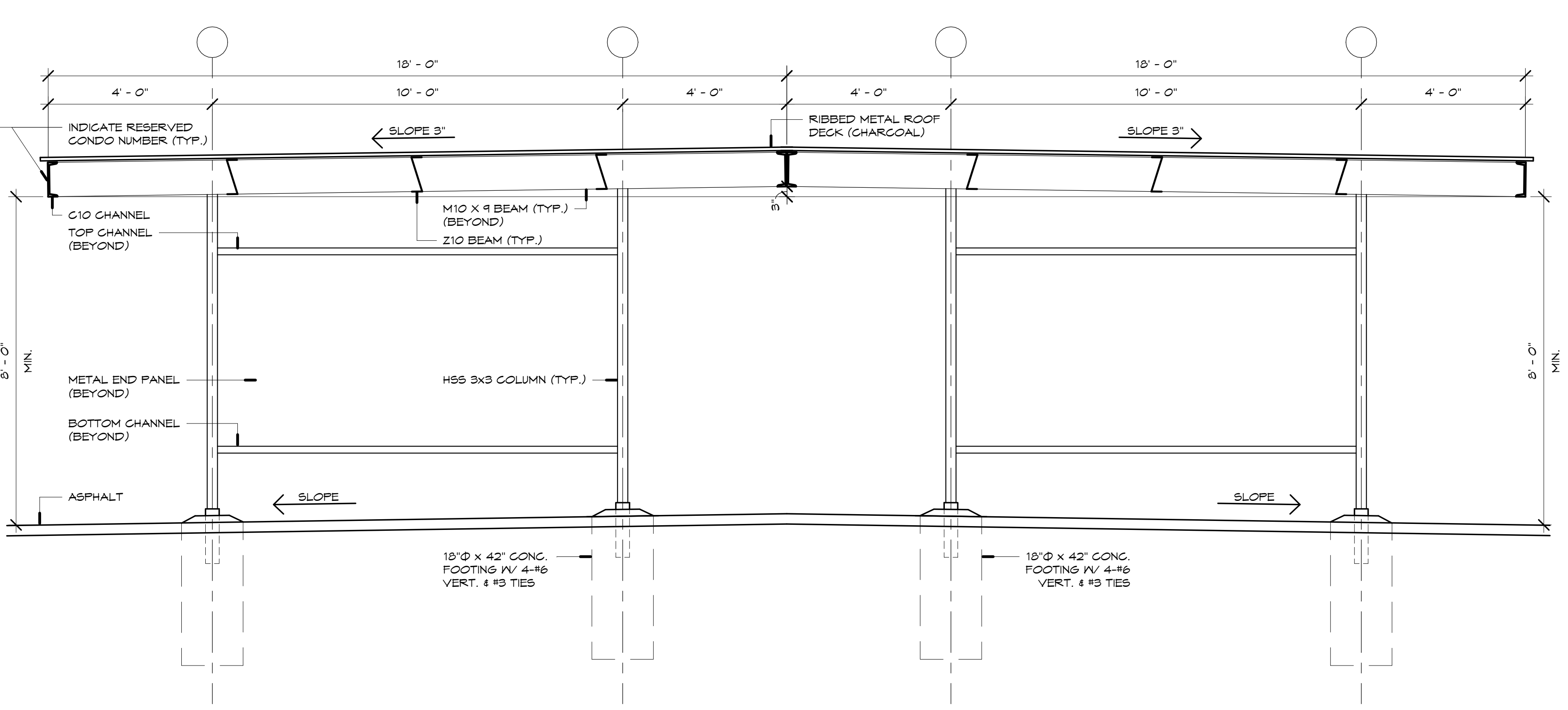
6 CAR CARPORT PLAN
 SCALE: 1/8" = 1'-0"



27 CAR CARPORT PLAN
 SCALE: 1/8" = 1'-0"



TYPICAL 6 CAR CARPORT SECTION
 SCALE: 1/2" = 1'-0"



TYPICAL 27 CAR CARPORT SECTION
 SCALE: 1/2" = 1'-0"

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo



Date: 14 MAY 2026
 Issued for: _____ Date: _____
 SITE PLAN REVIEW: 20 APR 2026
 REVISIONS: 11 MAY 2026
 SITE PLAN APPROVAL: 14 MAY 2026

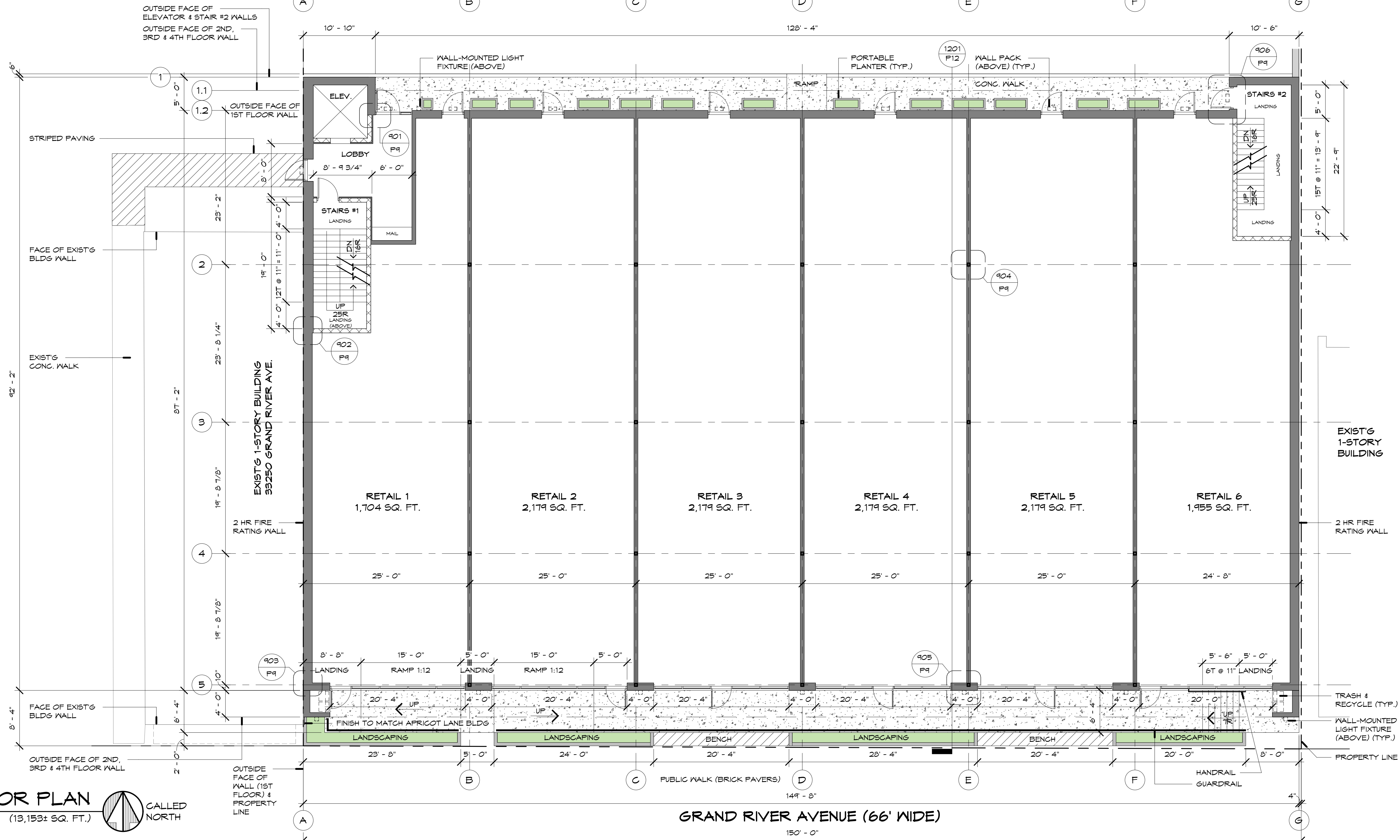
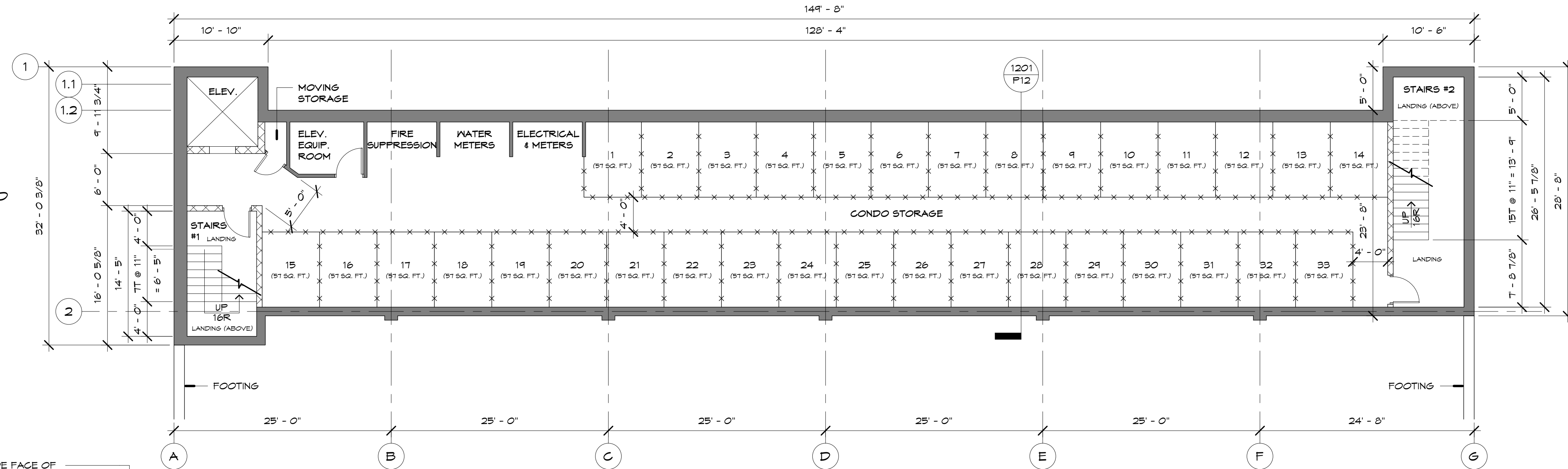
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PROPOSED SITE & CARPORT INFORMATION
 Project No. 52029 Sheet No. P2
 Date Printed: _____

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PROPOSED BASEMENT PLAN

SCALE: 1/8" = 1'-0"

(3,684± SQ. FT.)



PROPOSED 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

(13,153± SQ. FT.)



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TISEO Tiseo Architects, Inc.
 19815 Farmington Road
 Livonia, Michigan
 48152-1444
 248.888.1300
 www.tiseo.com

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

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PROPOSED BASEMENT & 1ST FLOOR PLANS

Project No. **25029** Sheet No. **P3**
 Date Printed:

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GRAND RIVER AVENUE (66' WIDE)

PROPOSED 2ND FLOOR PLAN
 (14,104± SQ. FT.)

SCALE: 1/8" = 1'-0"



THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

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PROPOSED 2ND FLOOR PLAN

Project No. 52029 Sheet No. P4

Date Printed:

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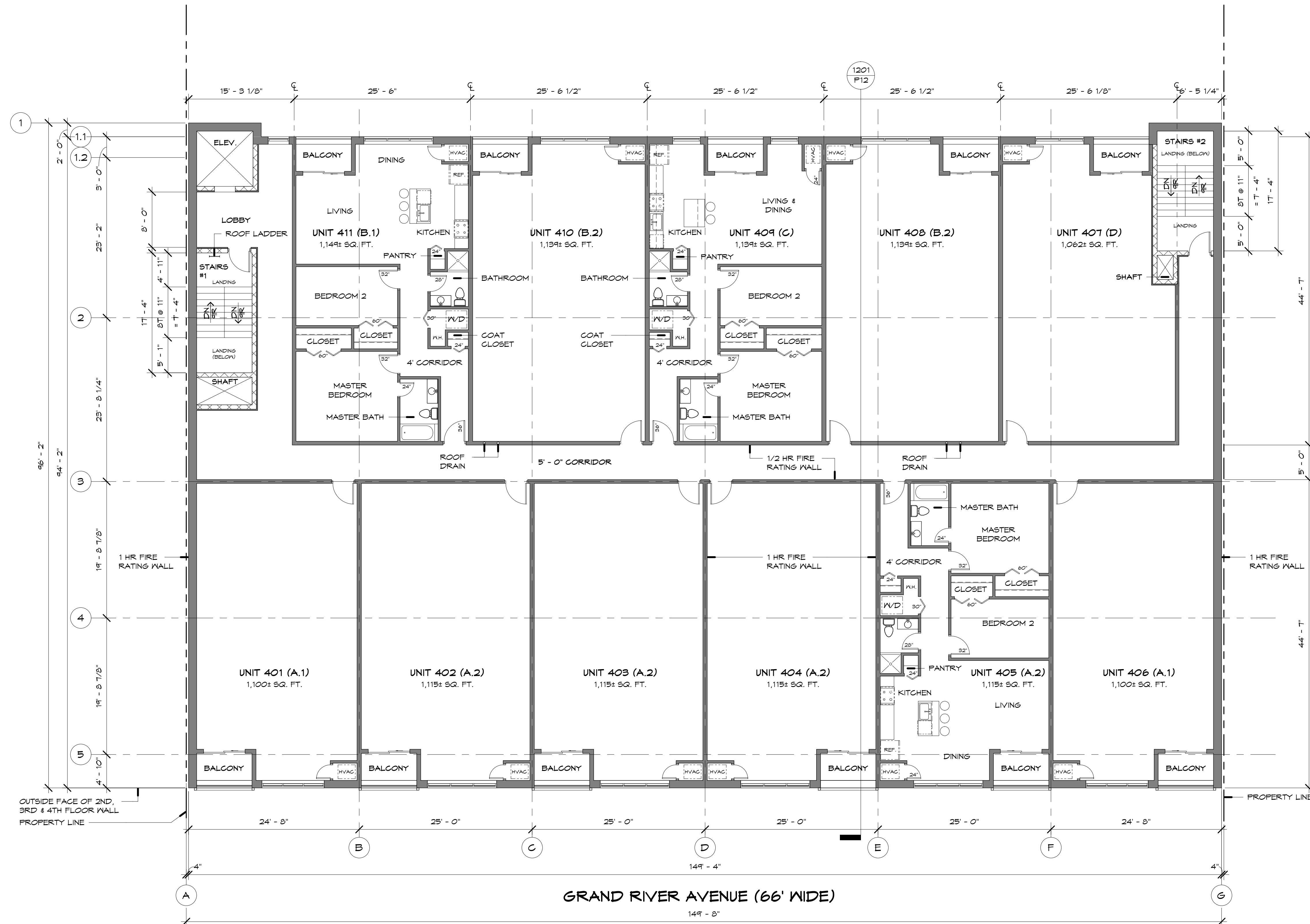
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PROPOSED 3RD FLOOR PLAN

Project No. 25029
 Sheet No. P5
 Date Printed:

PROPOSED 3RD FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 (14,104± SQ. FT.)
 CALLED NORTH

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THE FARMINGTON
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 Farmington, Michigan

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REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026

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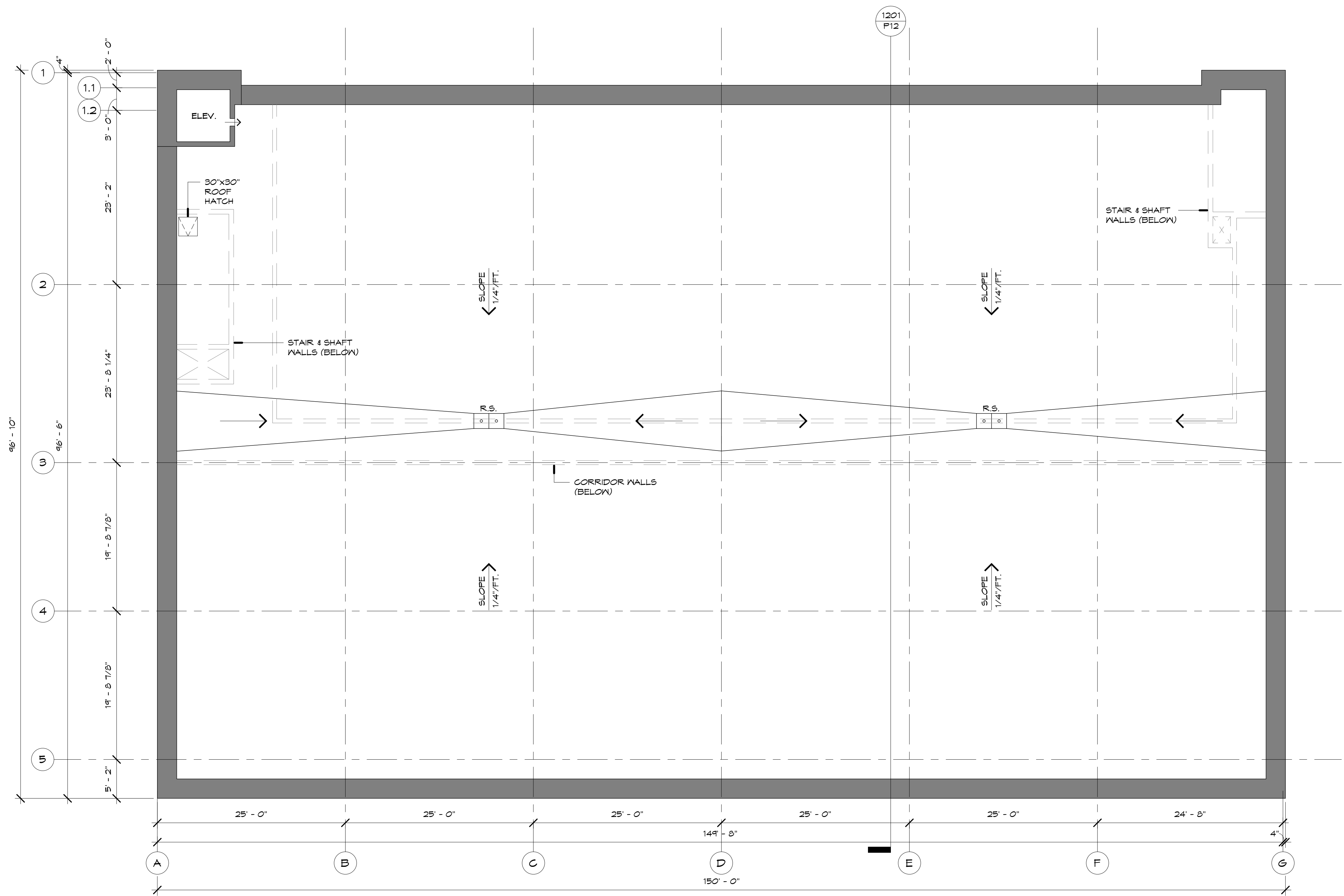
PROPOSED 4TH FLOOR PLAN

Project No. **25029** Sheet No. **P6**

Date Printed:

PROPOSED 4TH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 (14,104± SQ. FT.)


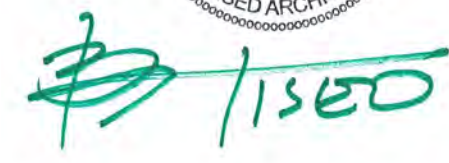
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PROPOSED ROOF PLAN CALLED NORTH
 SCALE: 1/8" = 1'-0" (14,270± SQ. FT.)

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 Farmington, Michigan

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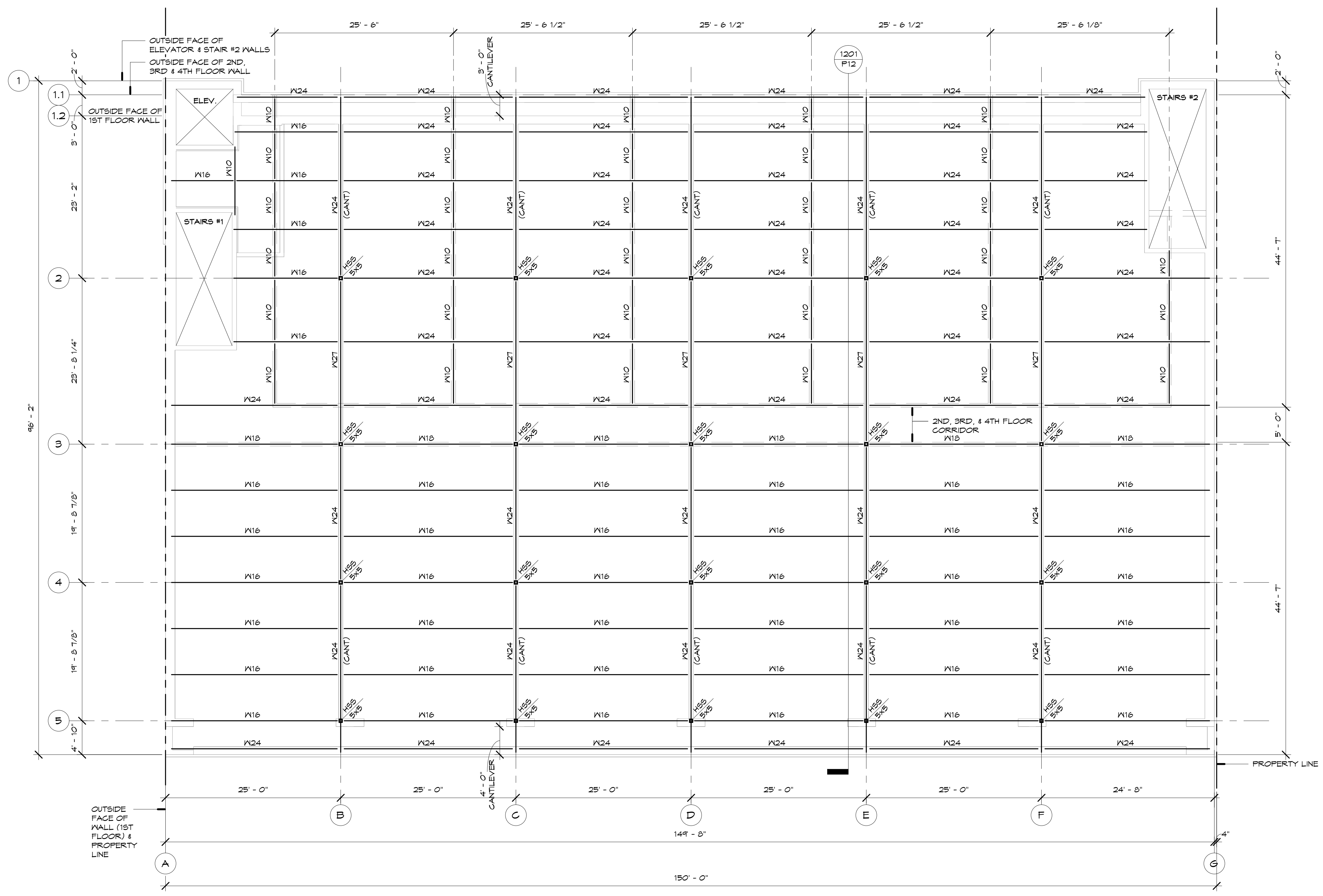
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PROPOSED ROOF PLAN

Project No. **25029** Sheet No. **P7**

Date Printed:

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THE FARMINGTON
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 Farmington, Michigan

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 Issued for: _____ Date: _____
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 REVISIONS: 11 MAY 2026
 SITE PLAN APPROVAL: 14 MAY 2026

NOT FOR CONSTRUCTION
PROPOSED 2ND FLOOR FRAMING PLAN
 Project No. 25029
 Sheet No. P8
 Date Printed: _____

PROPOSED 2ND FLOOR FRAMING PLAN CALLED NORTH
 SCALE: 1/8" = 1'-0"
 (13,153± SQ. FT.)

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 Farmington, Michigan

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Date: 14 MAY 2026

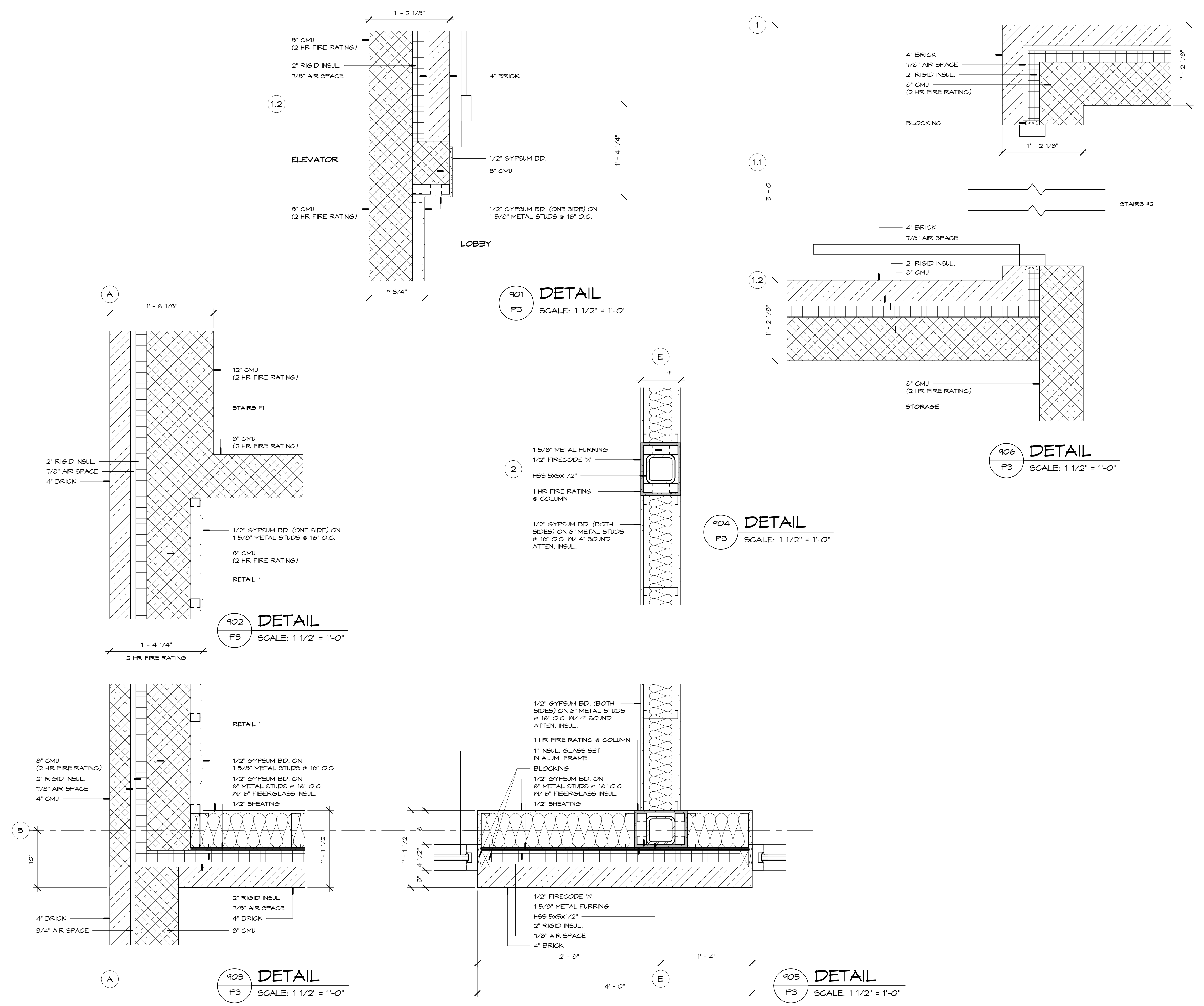
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NOT FOR CONSTRUCTION

PROPOSED PLAN DETAILS

Project No. **25029** Sheet No. **P9**

Date Printed:



3/15/2026 11:58:51 PM T:\Projects\25029 Farmington Village Plaza - Grand River Farmington\01\Preliminary\25029_P9.dwg - Ben Ebo, Inc.

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan



Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 14 MAY 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026

5/15/2026 11:51 PM T:\Projects\25029 Farmington Village Plaza - Grand River Farmington\01\Preliminary\25029 - S01 Elev.rvt

NOT FOR CONSTRUCTION
PROPOSED NORTH & SOUTH ELEVATIONS
 Project No. 25029 Sheet No. P10
 Date Printed:

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature

 Date: 14 MAY 2026

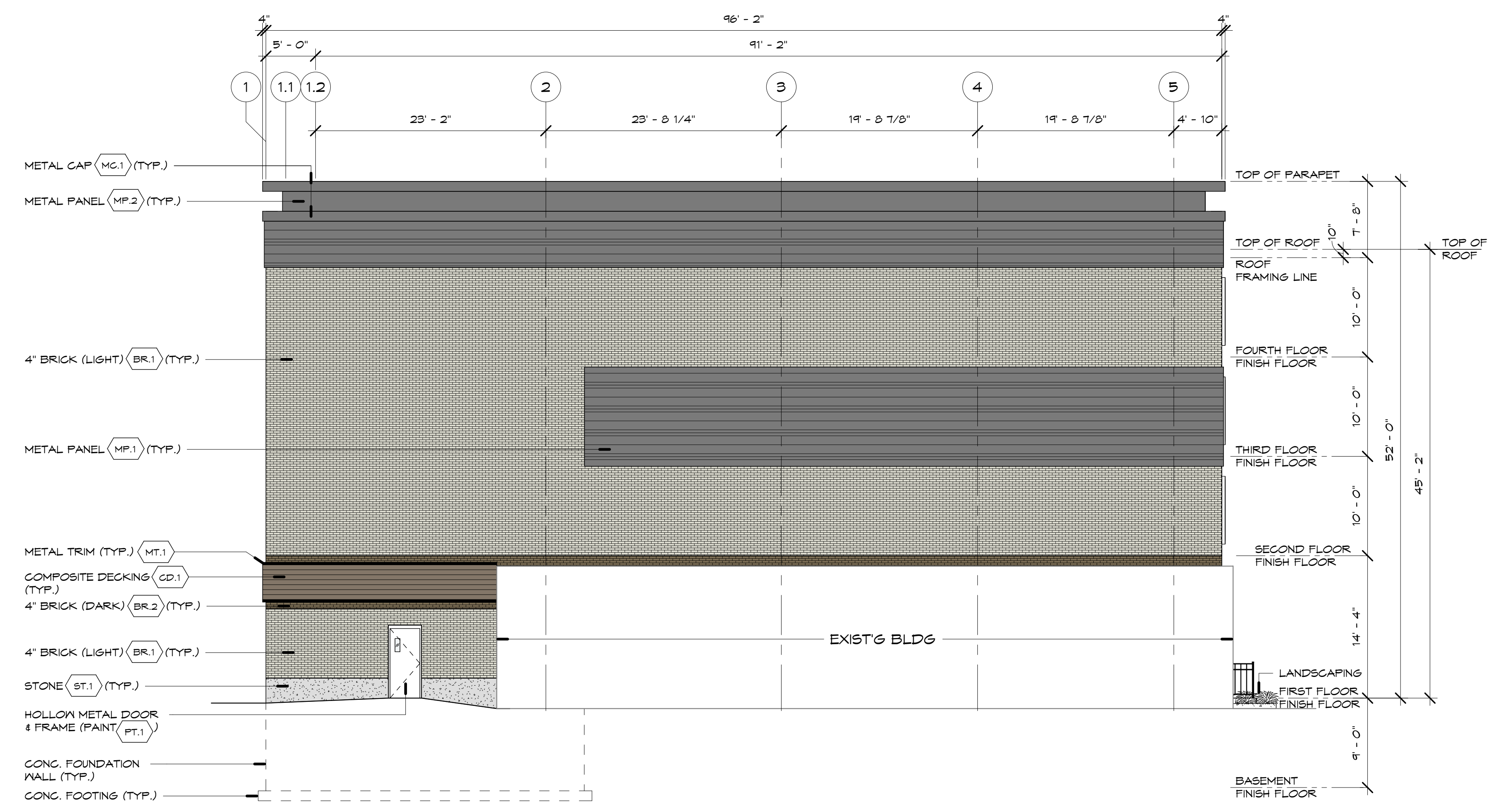
Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
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NOT FOR CONSTRUCTION

PROPOSED EAST & WEST ELEVATIONS

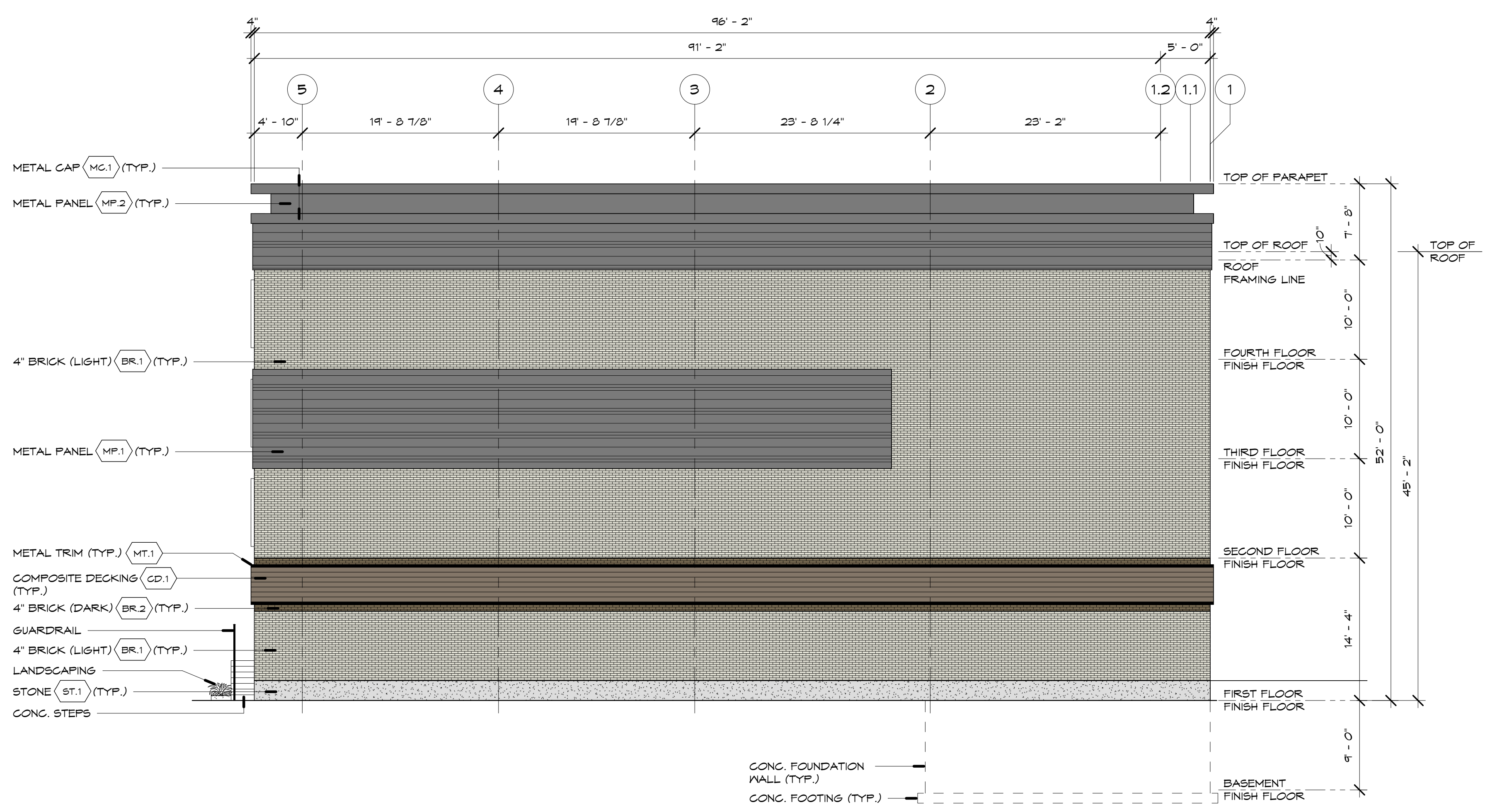
Project No. **25029** Sheet No. **P11**

Date Printed:



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



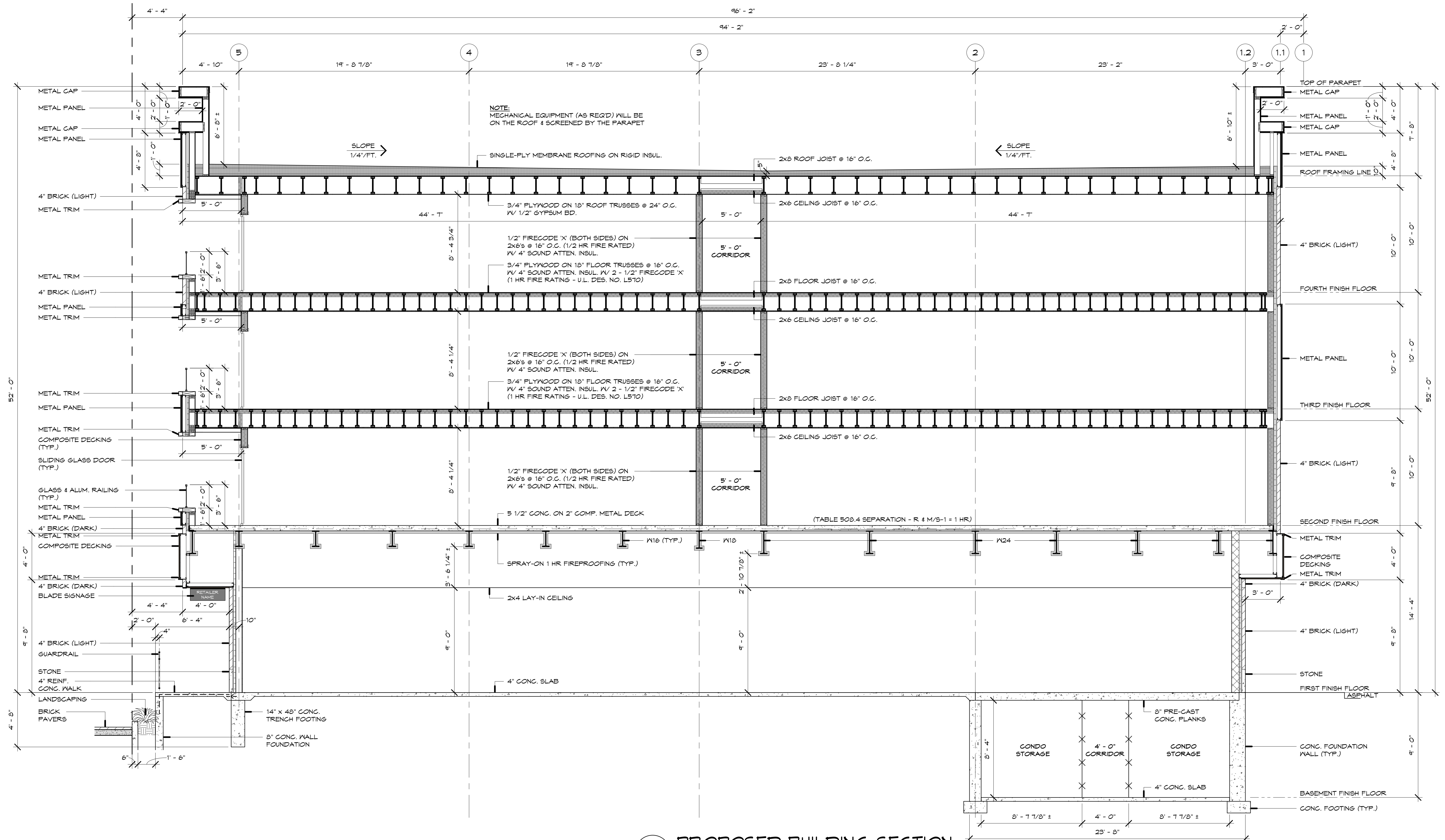
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

COLOR/FINISH SCHEDULE

BR.1	DIV 4 Brick (Light):	"Belden Brick" Color: Sea Gray Smooth 24-29, Size: Modular Mortar Color: Gray
BR.2	DIV 4 Brick (Dark):	"Belden Brick" Color: Brazilwood Smooth, Size: Modular Mortar Color: Gray
ST.1	DIV 4 Stone:	"RockCast" Full Bed Stone Color: Buffstone, Finish: Smooth
CD.1	DIV 6 Composite Decking:	"TimberTech by Azek" Advanced PVC Collection: Vintage, Color: English Walnut
MC.1	DIV 7 Metal Cap:	"Petersen Aluminum" Color: Musket Gray
MP.1	DIV 7 Metal Panel:	"Pac-Clad Petersen" Highline B1 Precision Series Wall Panels Color: Musket Gray
MT.1	DIV 7 Metal Trim:	"Berridge" Kynar 500 Color: Jet Black
MT.2	DIV 7 Metal Trim:	"Berridge" Kynar 500 Color: Shasta White
PT.1	DIV 9 Paint:	"Sherwin Williams" Color: SW 6250 Tricorn Black
	Frames:	Color: Black
	Glass:	Color: Clear

3/19/2026 11:52 AM T:\Projects\25029 Farmington Village Plaza - Grand River (Farmington)\Preliminary\25029 - 501 Elev.rvt



1201 **PROPOSED BUILDING SECTION**
 A4 SCALE: 1/4" = 1'-0"

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 14 MAY 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026

NOT FOR CONSTRUCTION

PROPOSED BUILDING SECTION
 Project No. 52029 Sheet No. P12

Date Printed:

S:\Projects\52029 Farmington Village Plaza - Grand River (Farmington)\Preliminary\52029 - S01 Elev A4

Owner / Developer

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

Architect

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

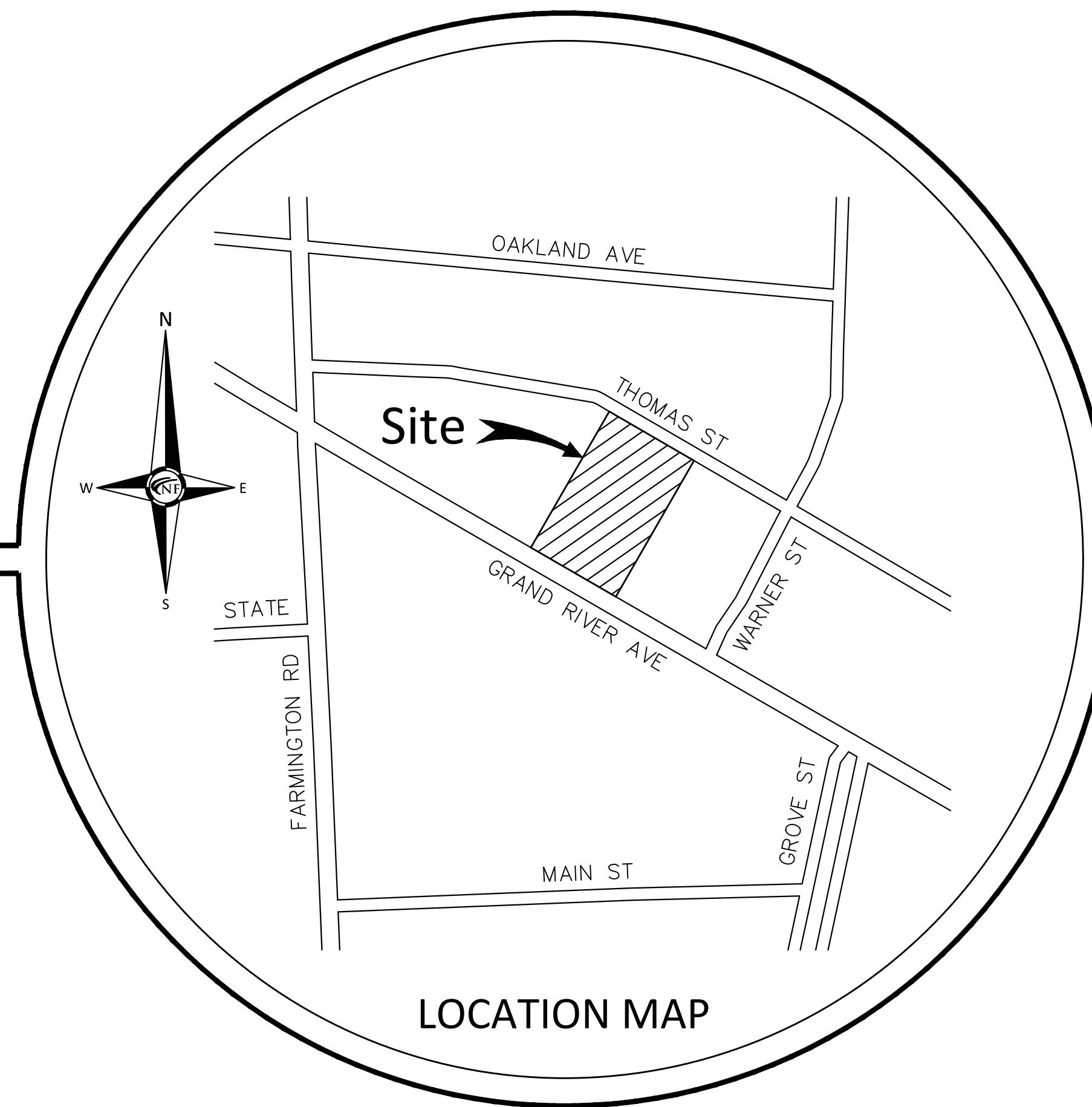
Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

Civil Engineer

Nowak and Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact:
Mr. Allen Eizember, P.E.
Ph: 248-332-7931
Fax: 248-332-8257

City of Farmington, Oakland County, Michigan SITE PLAN DOCUMENTS Prepared For Tiseo Architects, Inc.



SHEET INDEX

- SP0 Cover Sheet
- SP1 Boundary - Topographic Survey
- SP2 Dimensional Site Plan
- SP3 Paving and Grading Plan
- SP4 Contech Detention System Details

LEGAL DESCRIPTION

PER TITLE COMMITMENT -

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.

ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336

TAX ID: 23-27-153-021

CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

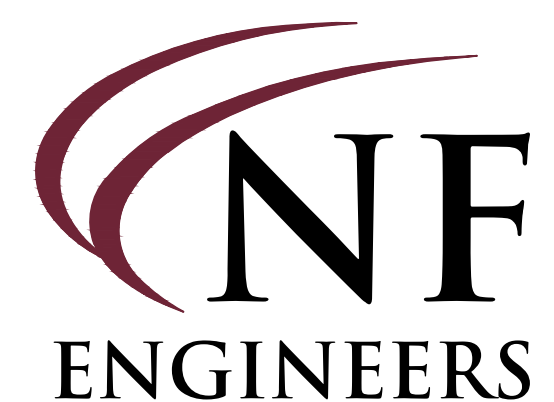
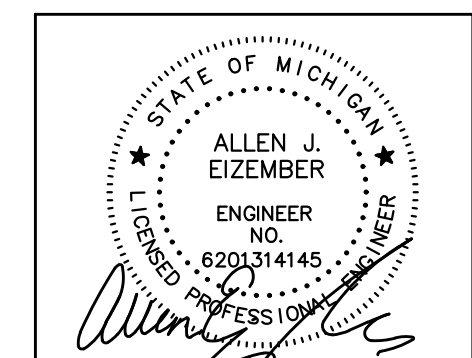
REVISIONS:
04-20-26 ISSUED FOR SITE PLAN REVIEW
04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING

Project Name

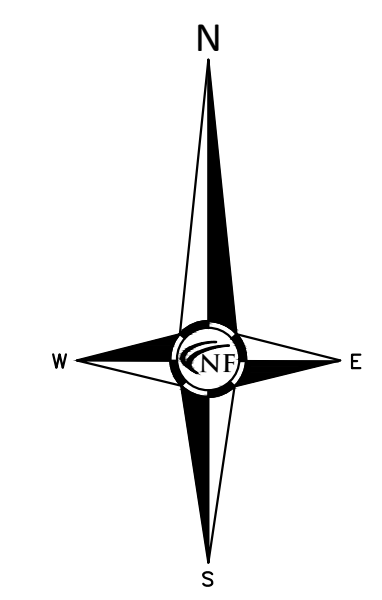
Multi-Story Mixed Use Development



N & F JOB #N780-01



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM



LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.
ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336
TAX ID: 23-27-153-021
CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

SITE DATA

SITE AREA:
30,000 SQUARE FEET OR 0.689 ACRES
ZONED:
CBD, CENTRAL BUSINESS DISTRICT
TOTAL PARKING SPACES:
35 STRIPED SPACES INCLUDING 2 BARRIER-FREE (HANDICAP) SPACES
BUILDING SETBACKS:
FRONT: 5 FEET
SIDE: NONE; 10 FEET OF SIDE BUILDING WALL IS NOT FIRE RATED OR CONTAINS WINDOWS.
REAR: 25 FEET

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF FARMINGTON TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

BASIS OF BEARING NOTE

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY THE AFORESAID RECORDED PLAT.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0653F BEARING AN EFFECTIVE DATE OF 9/29/2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 2026022400755, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON MARCH 16, 2026. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

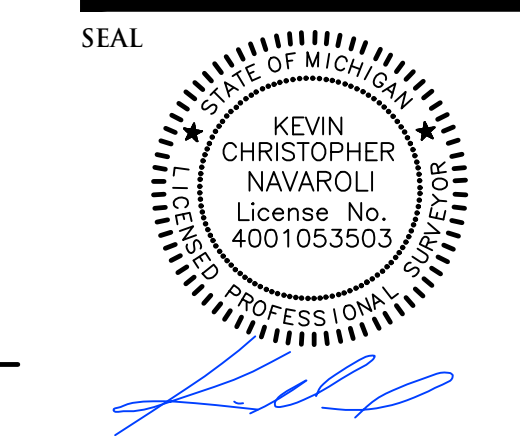
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
HYDRANT(HYD)	EXISTING SAN. CLEAN OUT
MANHOLE(MH)	GATE VALVE(GW)
MANHOLE(MH)	EXISTING WATER MAIN
MANHOLE(MH)	EXISTING STORM SEWER
CBB	EX. BEEHIVE CATCH BASIN
UTILITY POLE	EX. UNDERGROUND (UG.) CABLE
GUY WIRE	OVERHEAD (OH.) LINES
LP	LIGHT POLE
↑	SIGN
↑	EXISTING GAS MAIN
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(M)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
LS	LANDSCAPE
DS	DOWNSPOUT
GP	GUARD POST
12" T.	12" TREE

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Boundary - Topographic
Survey



Know what's below
Call before you dig.

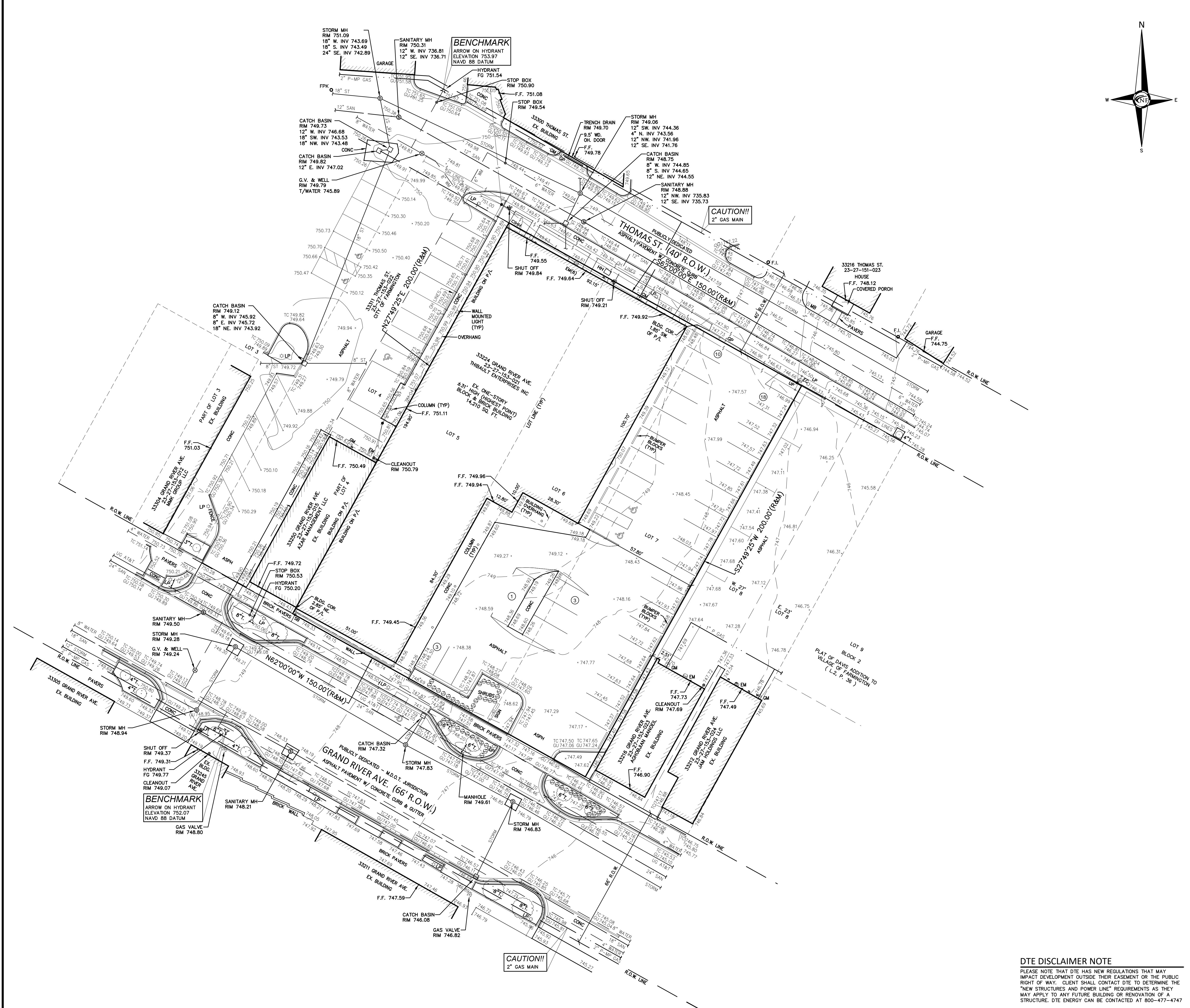
DATE	ISSUED/REVISED
04-20-26	ISSUED FOR SITE PLAN REVIEW
04-24-26	REVISED PER CLIENT
05-11-26	REVISED PER CITY MEETING

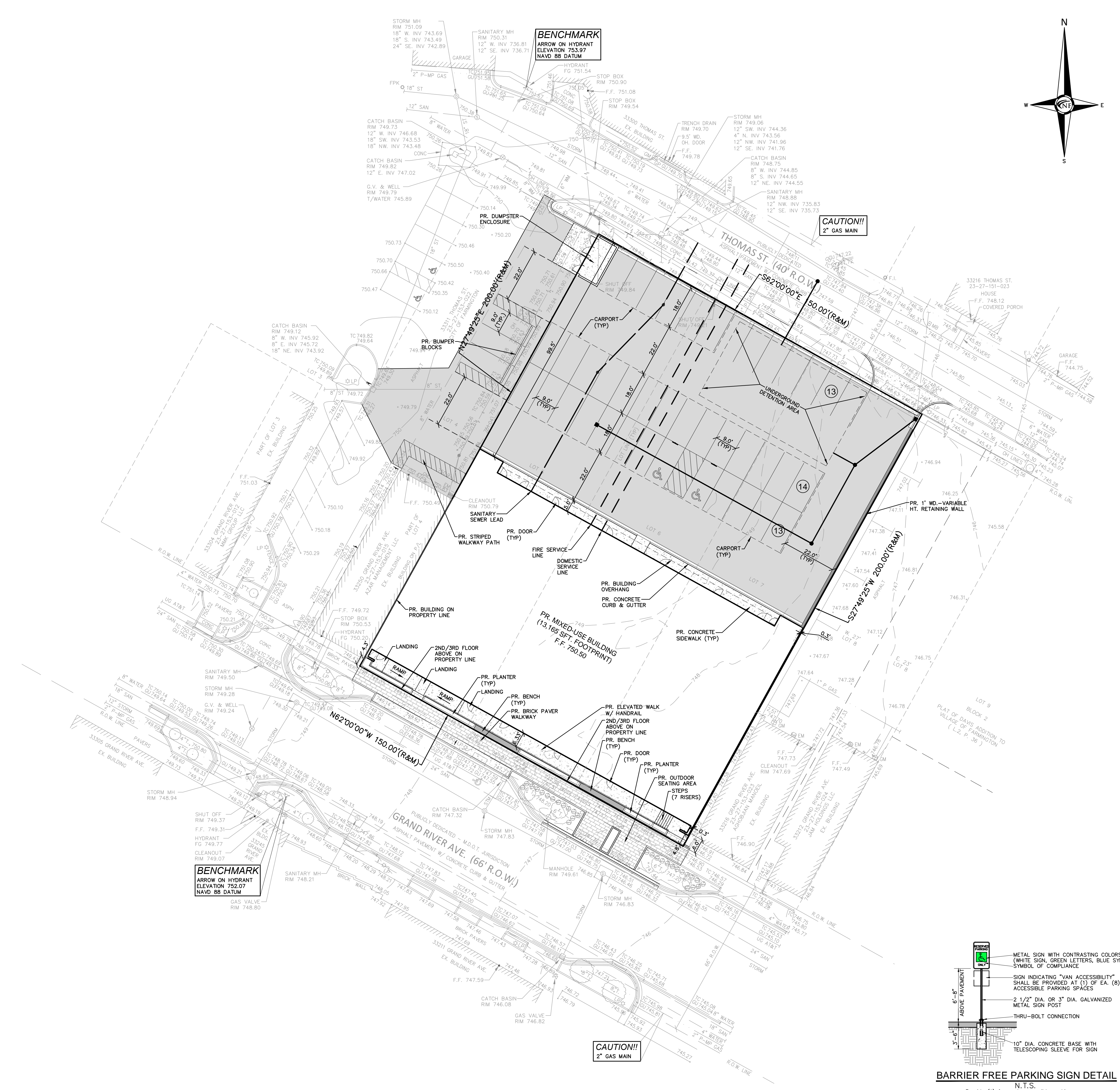
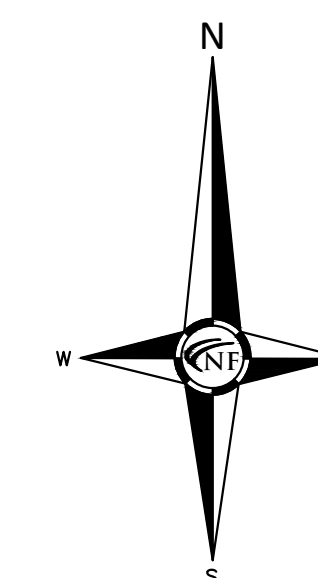
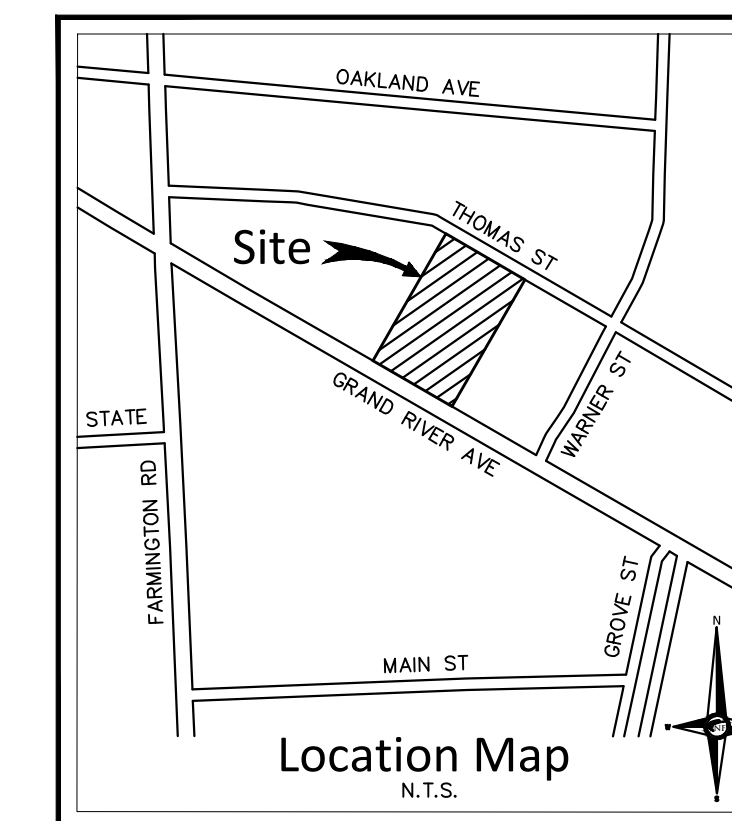
DRAWN BY:
M. Carnaghi
DESIGNED BY:

APPROVED BY:
K. Navaroli
DATE:
March 16, 2026

SCALE: 1" = 20'
20 10 0 10 20 30

NFE JOB NO. 781-01
SHEET NO. SP1





NOTE

ALL DRIVE ISLES ARE A MINIMUM OF 22' WIDE.

SANITARY NOTE

THE DEVELOPER SHALL TELEWISE THE SANITARY SEWER DOWNSTREAM OF EXISTING CONNECTION, ALONG WITH DOWNSTREAM OF THE PROPOSED CONNECTION AS WELL.

UTILITY NOTE

CONTRACTOR TO EXPOSE FIBER/ ELECTRIC/ TELEPHONE CONDUIT PRIOR TO COMMENCING CONSTRUCTION. UTILITY OWNER TO BE PRESENT. CONTRACTOR SHALL NOTIFY CIVIL ENGINEER OR RECORD FOLLOWING EXPOSURE TO COORDINATE.

SITE DATA

SITE AREA:	128,908.20 SFT OR 2.959 ACRES
PARKING PROVIDED:	40 SPACES
	33 TENANT SPACES (1 PER UNIT)
	7 RETAIL SPACES

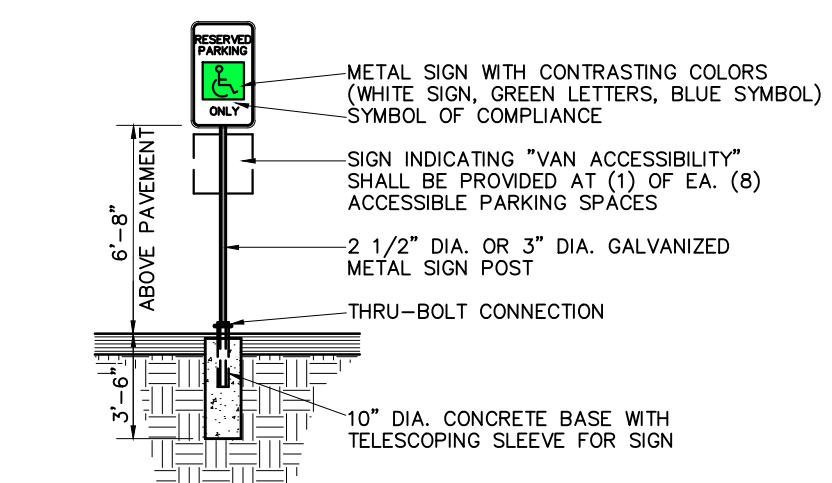
BUILDING SETBACKS (CENTRAL BUSINESS DISTRICT):	
REQUIRED	PROVIDED
FRONT (NE):	0 FT. 99.1'
FRONT (SW):	0-3 FT. 0.0'
SIDE (NW):	0 FT. 0.0'
SIDE (SE):	0 FT. 0.3'

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

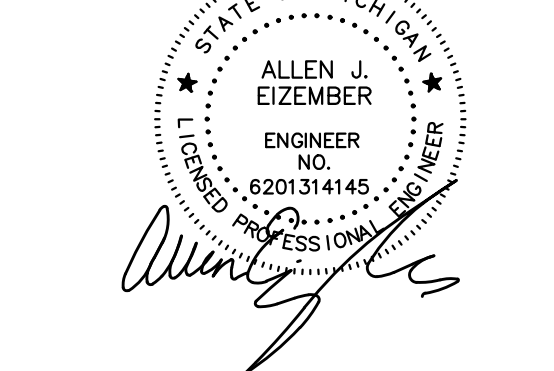
LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE



BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space

SEAL



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Dimensional Site Plan



DATE	ISSUED/REVISED
04-20-26	ISSUED FOR SITE PLAN REVIEW
04-24-26	REVISED PER CLIENT
05-11-26	REVISED PER CITY MEETING

DRAWN BY:
R. Johnson
DESIGNED BY:
A. Eizember
APPROVED BY:
A. Eizember

DATE:
March 16, 2026

SCALE: 1" = 20'

NFE JOB NO. 781-01 **SHEET NO.** SP2

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT HMA 4E ML (TIER I OR II); SURFACE COURSE - MDT HMA 5E ML (TIER I OR II); BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

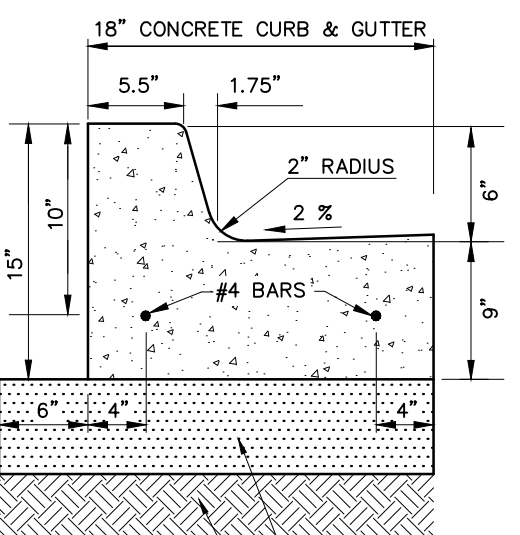
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

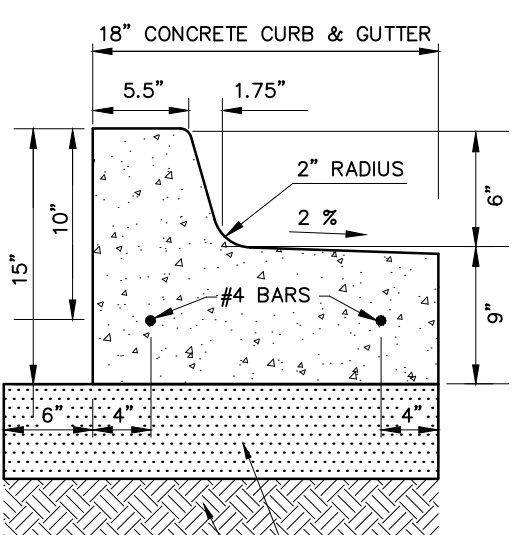
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

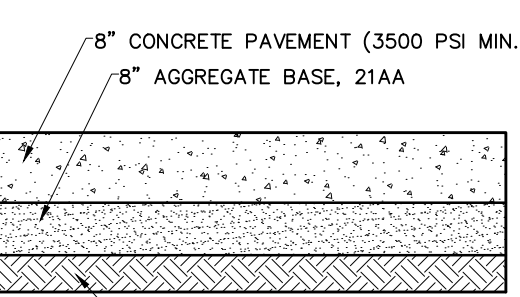
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



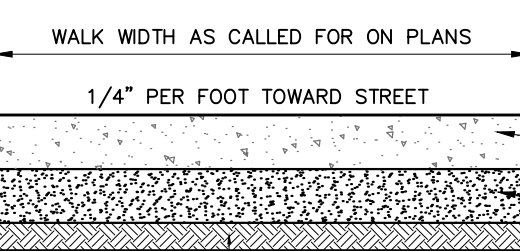
CONCRETE CURB DETAIL 'A'
N.T.S.



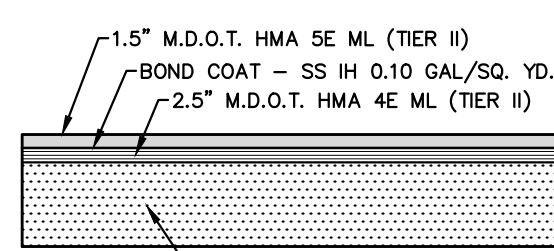
CONCRETE CURB DETAIL 'B'
N.T.S.



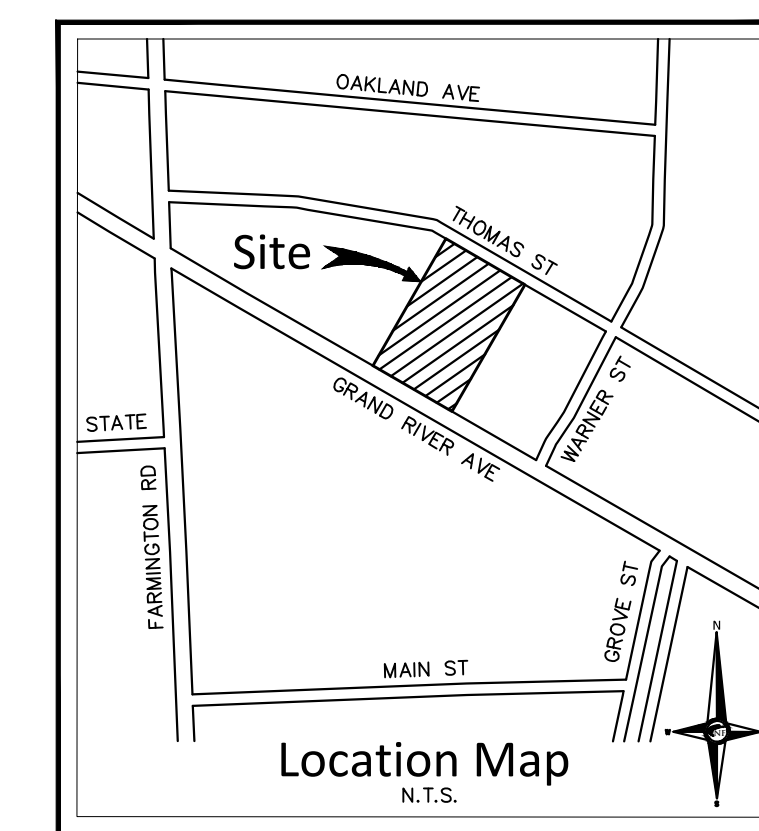
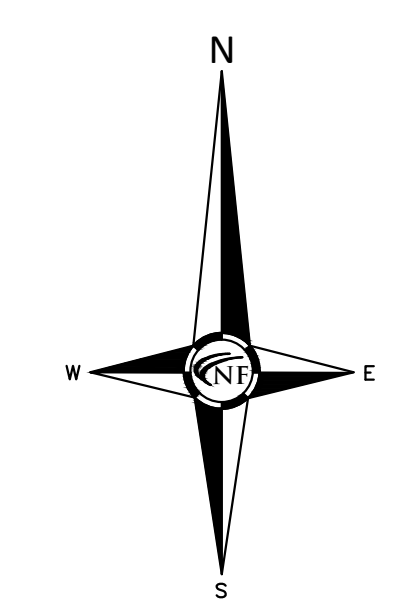
CONCRETE PAVEMENT SECTION
N.T.S.



CONCRETE SIDEWALK SECTION
N.T.S.

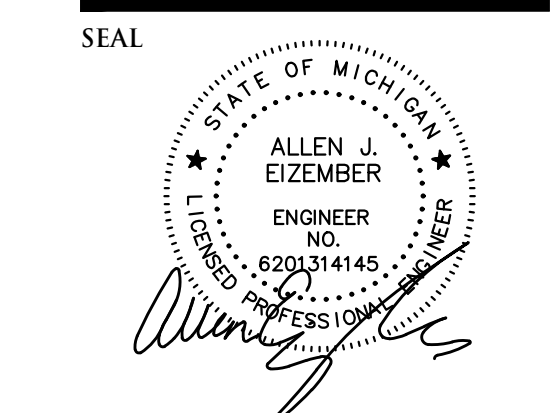


ASPHALT PAVEMENT SECTION
(DRIVE AND PARKING)



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
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Contact:
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PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Paving and Grading Plan



DATE ISSUED/REVISED
04-20-26 ISSUED FOR SITE PLAN REVIEW
04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING

DRAWN BY:
R. Johnson
DESIGNED BY:
A. Eizember
APPROVED BY:
A. Eizember

DATE:
March 16, 2026
SCALE: 1" = 20'
NFE JOB NO. SHEET NO.
N781-01 SP3

REQUIRED DETENTION VOLUME CALCULATIONS
100 Year Post-Development Detention Volume

Name of Project:	33224 Grand River Farmington, MI
Location of Project:	N781-01
NFE Project No.:	
Contributing Acreage "A":	0.69 ac
Weighted Runoff Coefficient "C":	0.95
Time of Concentration "Tc":	10.00 min
1. Calculate Required Water Quality Volume (Wvq) (1" Rainfall Event)	
Wvq = 3.630(C)A	2,379 cft
2. Calculate Required Water Quality Rate (Qwq)	
Qwq = (C)A(30.20)/(Tc+9.17)*81	1.81 cfs
3. Calculate Required Channel Protection Volume (Vcpcr) (1.3" Rainfall Event)	
Vcpcr = 4.719(C)A	3,093 cft
4. Calculate Required Extended Detention Volume (Ved) (1.9" Rainfall Event)	
Ved = 6.897(C)A	4,521 cft
5. Calculate Extended Detention Outlet Rate (Qed) (48 hour discharge)	
Qed = Ved / [(48 hr)(60 min)(60 sec)] = Ved/172,800	0.03 cfs
6. Calculate 100-year Rainfall Intensity (I100)	
I100 = 83.3/(Tc+9.17)^0.811	7.62 in/hr
7. Calculate 100-year Post-Development Peak Inflow Rate (Q100-in)	
Q100-in = (C)(I100)A	4.99 cfs
8. Calculate the Allowable Release Rate (Qvrr)	
Qvrr = Restricted Outlet rate per local municipality	1.00 cfs/ac
Qvrr = (C100p) = (Cvrr)A	N/A cfs/ac
9. Calculate Allowable 100-year Storm Outlet Rate (Q100P)	
Q100P = (Cvrr)A	0.69 cfs
10. Calculate Storage Curve Factor (R)	
R = 0.206-(0.15)ln[(C100P)/(I100-in)]	0.503
11. Calculate Required 100-year Storm Volume In (V100R)	
V100R = 18.985(C)A	12,445 cft
12. Calculate 100-year Storm Detention Storage Volume (V100D)	
V100D = (V100R)(R)	6,258 cft
Vcpcr(credit)	0 cft
TOTAL DETENTION VOLUME REQUIRED:	6,258 cft
TOTAL DETENTION VOLUME PROVIDED:	6,258 cft

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	GATE VALVE		EXISTING WATERMAIN
	MANHOLE CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	OVERHEAD LINES		LIGHT POLE
	SIGN		EXISTING GAS MAIN
	C.O. MANHOLE		PR. SANITARY SEWER
	HYDRANT GATE VALVE		PR. WATER MAIN
	INLET		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		PR. TOP OF CURB ELEVATION
	PROPOSED LIGHT POLE		PR. GUTTER ELEVATION
	PROPOSED LIGHT POLE		PR. TOP OF WALK ELEVATION
	PROPOSED LIGHT POLE		PR. TOP OF P.V.M.T. ELEVATION
	PROPOSED LIGHT POLE		FINISH GRADE ELEVATION
	PROPOSED LIGHT POLE		WALL TOP/BOTTOM ELEVATION

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SEAL

PROJECT
 Multi-Story
 Mixed Use Development
 33224 Grand River Ave.
 Farmington, MI 48336

CLIENT
 Tiseo Architects, Inc.
 19815 Farmington Rd.
 Livonia, MI 48152

Contact:
 Mr. Ben Tiseo
 Ph: 248-888-1300
 Fax: 248-888-1313

PROJECT LOCATION
 Part of the NW. 1/4
 of Section 27,
 T. 1 N., R. 9 E.,
 City of Farmington,
 Oakland County, Michigan

SHEET
 Contech Detention
 System Details



DATE ISSUED/REVISED
 04-20-26 ISSUED FOR SITE PLAN REVIEW
 04-24-26 REVISED PER CLIENT
 05-11-26 REVISED PER CITY MEETING

DRAWN BY:
 Others
DESIGNED BY:
 A. Eizember
APPROVED BY:
 A. Eizember
DATE:
 March 16, 2026
SCALE: N.T.S.

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20S18
- APPROX. LINEAR FOOTAGE = 364 LF

STORAGE SUMMARY

- STORAGE VOLUME REQUIRED = 6,258 CF
- PIPE STORAGE VOLUME = 4,574 CF
- BACKFILL STORAGE VOLUME = 1,684 CF
- TOTAL STORAGE PROVIDED = 6,258 CF
- STONE VOID = 40%

PIPE DETAILS

- DIAMETER = 48"
- GAGE = 16
- CORRUGATION = 2.23x1/2"
- COATING = ALT2
- WALL TYPE = PERFORATED
- BARREL SPACING = 24"

BACKFILL DETAILS

- WIDTH AT ENDS = 12"
- ABOVE PIPE = 0"
- WIDTH AT SIDES = 12"
- BELOW PIPE = 0"

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A193.
- ALL RISERS AND STUBS ARE 2 1/2" x 1 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUBS FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN, QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.



ASSEMBLY
 SCALE: 1" = 10'

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 8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
 800-338-1122 513-645-7000 513-645-7993 FAX

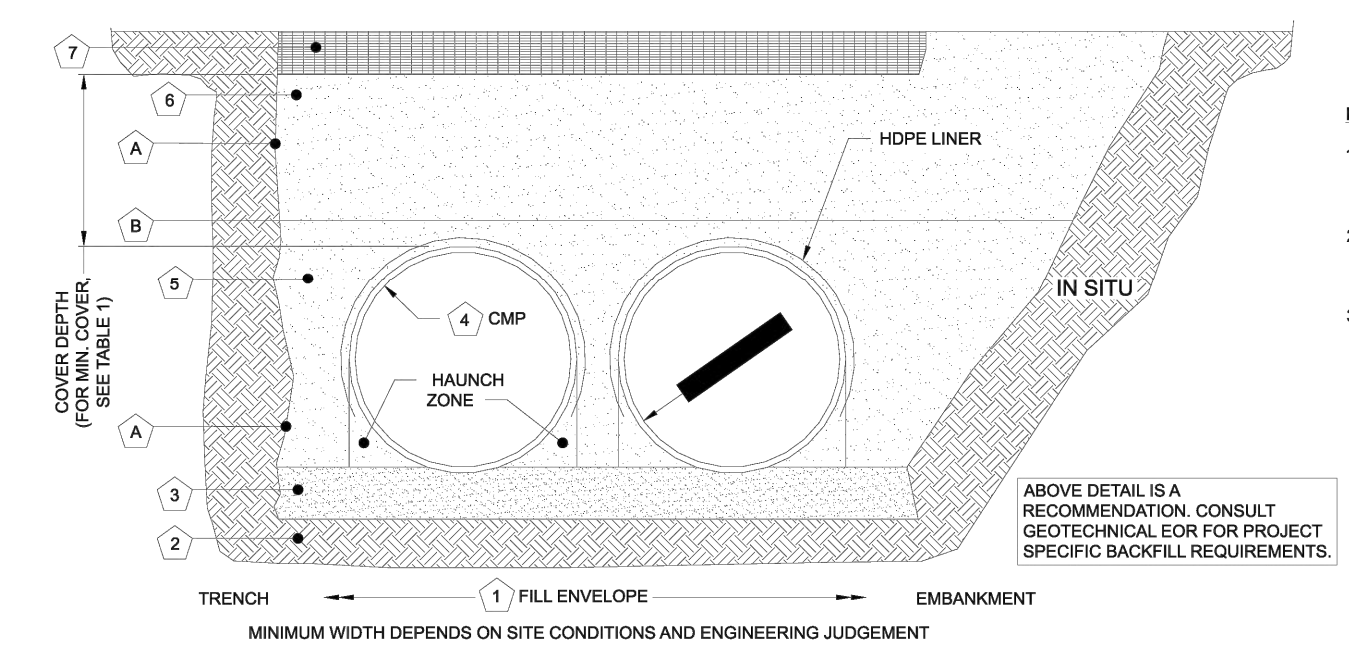
CONTECH CMP DETENTION SYSTEMS
 CONTECH DYODS DRAWING

DYO102471 Tiseo - Farmington
 Detention System
 Farmington, MI
 DETENTION SYSTEM

PROJECT NO.	DES. NO.	DATE
7950	102471	4/18/2026
DESIGNED BY	DRAWN BY	
DYO	DYO	
CHECKED BY	APPROVED BY	
DYO	DYO	
SHEET NO.		1

TABLE 1:

DIAMETER, D	MIN. COVER	CORR. PROFILE
6"-10"	12"	1 1/2" x 1/4"
12"-48"	12"	2.23" x 1/2"
>48"-96"	12"	3" x 1", 5" x 1"
>96"	D/B	3" x 1", 5" x 1"



INSTALLATION NOTES

- WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES.
- OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.
- AN HDPE MEMBRANE LINER WILL BE PLACED ON THE CROWN OF EACH PIPE TO PROVIDE AN IMPERMEABLE BARRIER AGAINST ENVIRONMENTAL CHANGES THAT MAY ADVERSELY AFFECT THE SYSTEM OVER TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL TECHNICAL DETAILS.

TABLE 2: PERFORATED STANDARD

MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION
FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF YOUR CONTACT REPRESENTATIVE FOR NONSTANDARD SPACING. THE SUGGESTED MINIMUM TRENCH WIDTH, OR EOR RECOMMENDATION: PIPE = 12" D + 18" PIPE = 12" 1.5D + 12"
FOUNDATION	AASHTO M 26.5.2 - PER ENGINEER OF RECORD	PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND FOUNDATION BROUGHT BACK TO GRADE WITH A FILL MATERIAL APPROVED BY THE ENGINEER OF RECORD.
BEDDING	AASHTO M 43.3, 357, 4, 467, 5, 56, 57	ENGINEER OF RECORD TO DETERMINE IF BEDDING IS REQUIRED. PIPE MAY BE PLACED ON THE TRENCH BOTTOM OF A RELATIVELY LOOSE, MATHE. SUITABLE WELL GRADED GRANULAR MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 2" MIN DEPTH. THE BEDDING MATERIAL MAY BE SUITABLE OPEN GRADED GRANULAR BEDDING CONFORMING TO AASHTO SOIL CLASSIFICATIONS A1, A2, OR A3 WITH MAXIMUM PARTICLE SIZE OF 3/8" PER AASHTO 26.3.1.
BACKFILL	FREE DRAINING, ANGULAR, NATURALLY OCCURRING WASHED-STONE PER M 43.3, 357, 4, 467, 5, 56, 57 OR APPROVED EQUAL.	HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION WITHOUT SOFT SPOTS. BACKFILL SHALL BE PLACED IN 4" - 6" LOOSE LIFTS AND COMPACTED TO 90% STANDARD PROCTOR PER AASHTO T 99. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO (2) DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHOULD BE ADVANCED ALONG THE LENGTH OF THE SYSTEM TO AVOID DIFFERENTIAL LOADING. WHERE CONVENTIONAL COMPACTION TESTING IS NOT PRACTICAL, THE MATERIAL SHALL BE MECHANICALLY COMPACTED UNTIL NO FURTHER YIELDING OF MATERIAL IS OBSERVED UNDER THE COMPACTOR. AREAS WITH HIGH WATER TABLE FLUCTUATIONS THAT INTERACT WITH THE PIPE ZONE, CONSIDER INSTALLING A GEOTEXTILE SEPARATION LAYER TO PREVENT SOIL MIGRATION.
COVER MATERIAL	UP TO MIN. COVER - AASHTO M 145: A-1, A-2, A-3 ABOVE MIN. COVER - PER ENGINEER OF RECORD	COVER MATERIAL MAY INCLUDE NON-BITUMINOUS, GRANULAR ROADBASE MATERIAL WITHIN MIN COVER LIMITS
RIGID OR FLEXIBLE PAVEMENT (IF APPLICABLE)	PER ENGINEER OF RECORD	FLEXIBLE PAVEMENT SHOULD NOT BE COUNTED AS PART OF THE FILL HEIGHT OVER THE CMP. FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD.
OPTIONAL SIDE GEOTEXTILE	NONE	GEOTEXTILE LAYER IS RECOMMENDED ON SIDES OF EXCAVATION TO PREVENT SOIL MIGRATION.
GEOTEXTILE BETWEEN LAYERS	NONE	IF SOIL TYPES DIFFER AT ANY POINT ABOVE PIPE INVERT, A GEOTEXTILE LAYER IS RECOMMENDED TO BE PLACED BETWEEN THE LAYERS TO PREVENT SOIL MIGRATION.

NOTES:

- FOR MULTIPLE BARREL INSTALLATIONS, THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE THE PIPE DIAMETER (2) BUT NO LESS THAN 12" FOR DIAMETERS < 24". FOR 24" AND LARGER DIAMETERS, THE MINIMUM SPACING IS 36". CONTACT YOUR CONTACT REPRESENTATIVE FOR NONSTANDARD SPACING.
- APPROVED REGIONAL EQUIVALENTS FOR SECTION 5 INCLUDE CA-7, MIDOT 6A, GA, OR SG, PROVIDED THEY MEET THE PARTICLE SIZES INDICATED.

MANUFACTURER RECOMMENDED BACKFILL

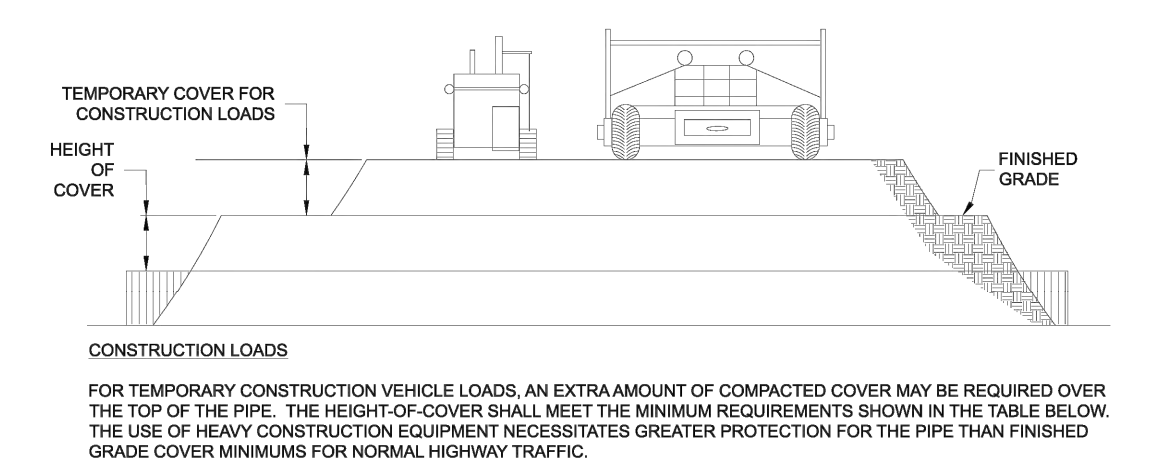
NOT TO SCALE

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 CONTECH DYODS DRAWING

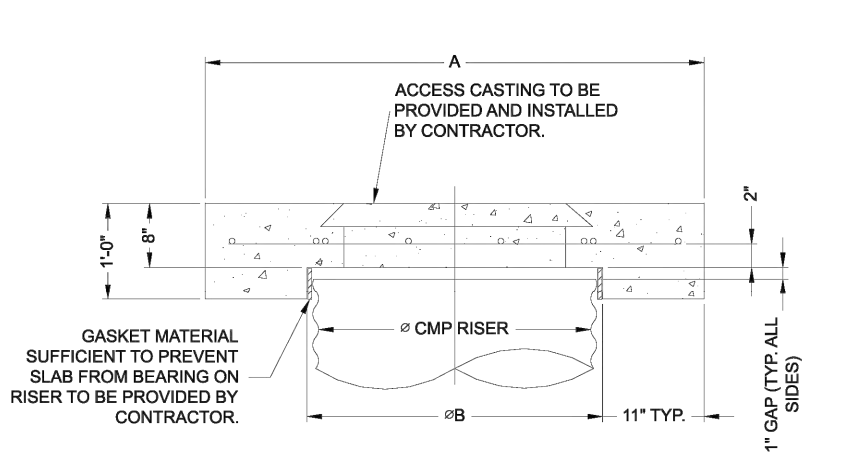
DYO102471 Tiseo - Farmington
 Detention System
 Farmington, MI
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PROJECT NO.	DES. NO.	DATE
7950	102471	4/18/2026
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SHEET NO.		1



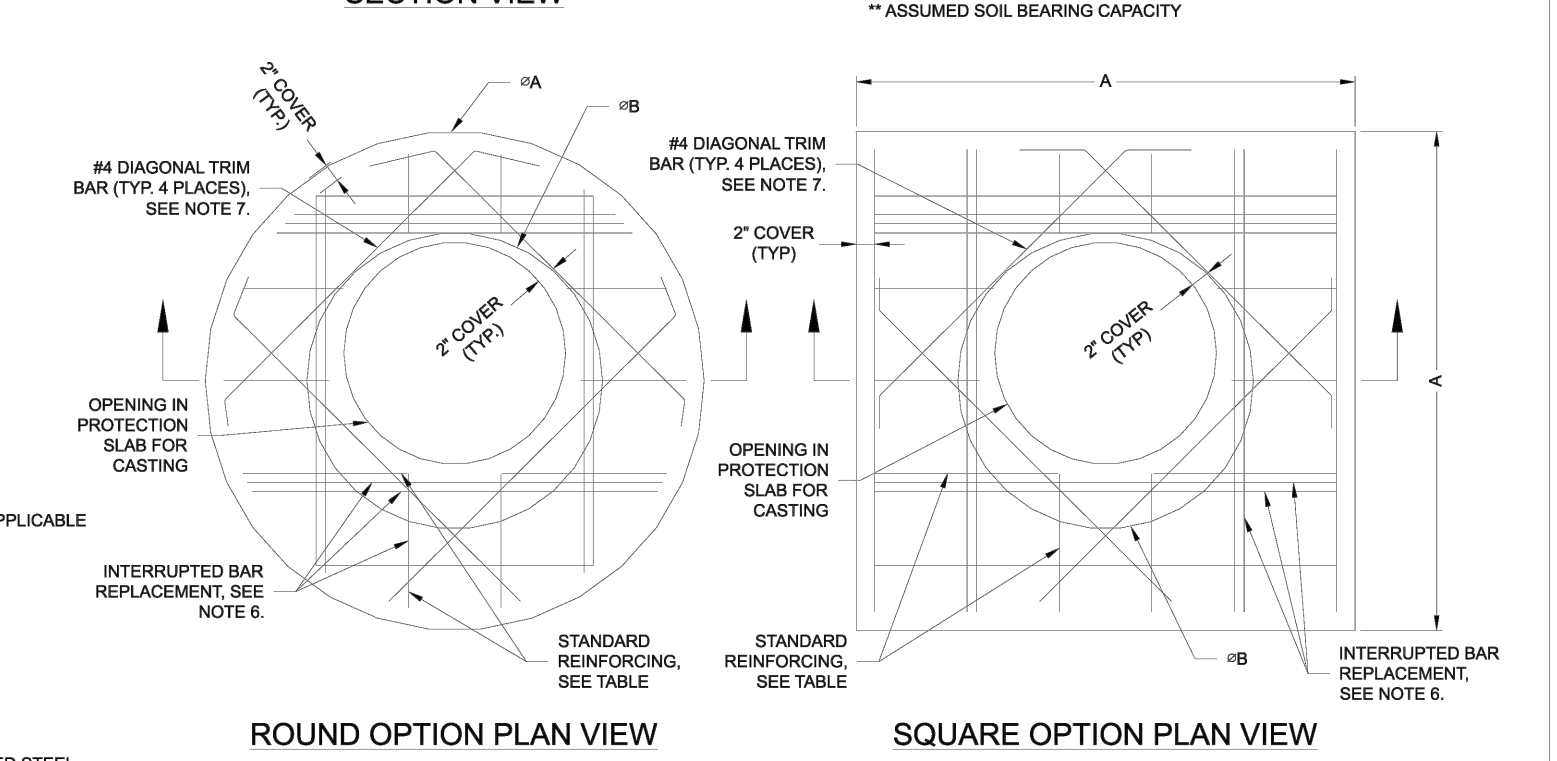
CONSTRUCTION LOADING DIAGRAM
 SCALE: N.T.S.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	16-50	50-75	75-110	110-150
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5



REINFORCING TABLE

Ø CMP RISER	A	B	Ø B REINFORCING	**BEARING PRESSURE (PSF)
24"	4"	20"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,760
30"	4"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	5"	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,860 1,350
42"	5"	44"	#5 @ 10" OCEW #5 @ 10" OCEW	1,720 1,210
48"	6"	50"	#5 @ 8" OCEW #5 @ 8" OCEW	1,600 1,100



NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL
 SCALE: N.T.S.

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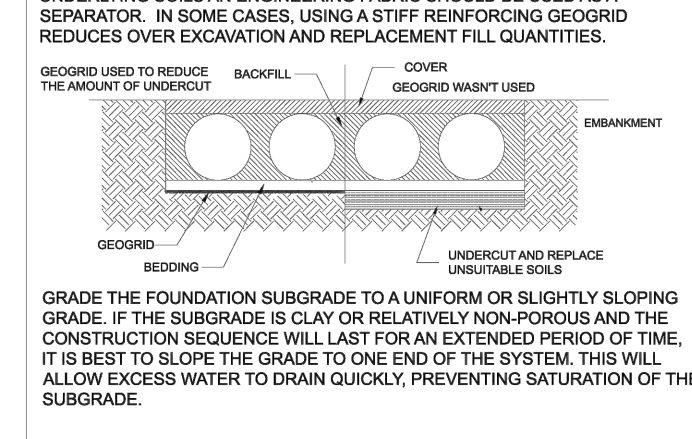
CONTECH CMP DETENTION SYSTEMS
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DYO102471 Tiseo - Farmington
 Detention System
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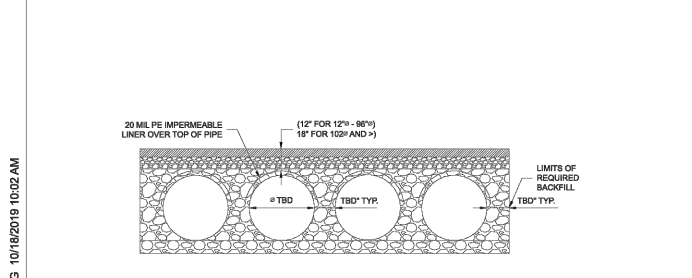
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CMP DETENTION INSTALLATION GUIDE
 PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

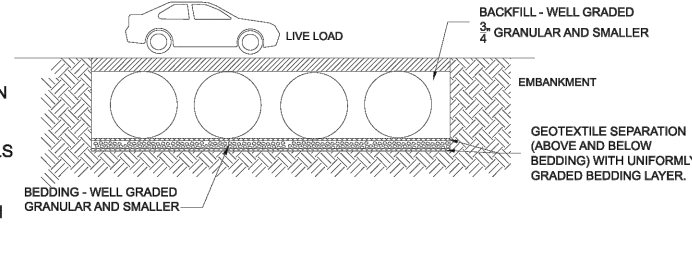
FOUNDATION
 CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.
 IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS, AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOTEXTILE REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



GEOMEMBRANE BARRIER
 THE RESISTIVITY OF A PROJECT SITE MAY CHANGE OVER TIME DUE TO THE USE OF VARIOUS SALTING, DE-ICING, AND AGRICULTURAL AGENTS APPLIED ON OR NEAR THE AREA. TO MITIGATE THE POTENTIAL IMPACT OF THESE AGENTS, AN HDPE MEMBRANE LINER WILL BE INSTALLED ON THE CROWN OF EACH PIPE, CREATING AN IMPERMEABLE BARRIER. THIS MEASURE IS DESIGNED TO PROTECT THE SYSTEM FROM ENVIRONMENTAL CHANGES THAT COULD LEAD TO PREMATURE CORROSION AND REDUCE THE OVERALL SERVICE LIFE.

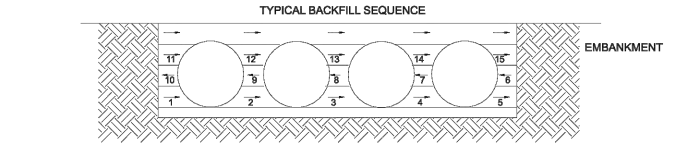


IN-SITU TRENCH WALL
 IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE BEARS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.
 IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.

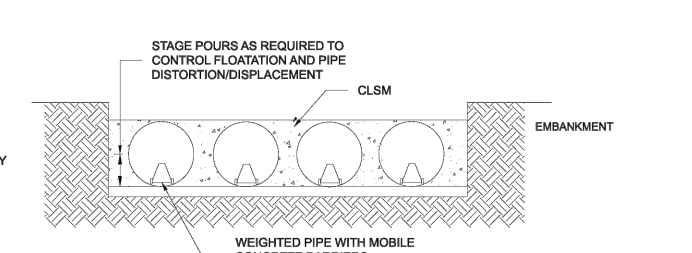


CONSTRUCTION LOADING
 TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

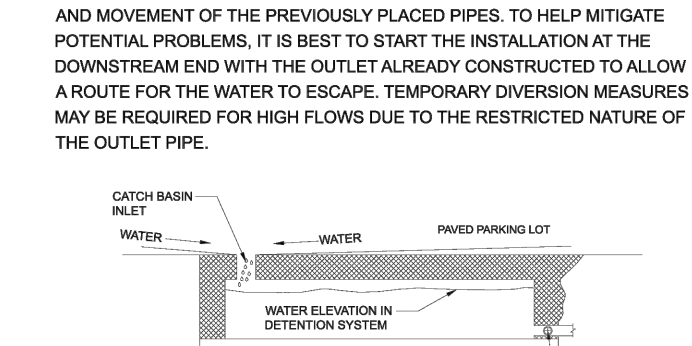
ADDITIONAL CONSIDERATIONS
 BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOATAION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DRAINAGE MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE
 UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.
INSPECTION
 INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING, ANNUAL INSPECTIONS. SITES WITH HIGH TRASH LOAD OR SMALL OUTLET CONTROL ORIFICES MAY NEED MORE FREQUENT INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.
 INSPECTIONS SHOULD BE PERFORMED MORE OFTEN IN EQUIPMENT WASHDOWN AREAS, IN CLIMATES WHERE SANDING AND/OR SALTING OPERATIONS TAKE PLACE, AND IN OTHER VARIOUS INSTANCES IN WHICH ONE WOULD EXPECT HIGHER ACCUMULATIONS OF SEDIMENT OR ABRASIVE/ CORROSIVE CONDITIONS. A RECORD OF EACH INSPECTION IS TO BE MAINTAINED FOR THE LIFE OF THE SYSTEM.
MAINTENANCE
 CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.
 ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEATED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESS/INSPECTION MANHOLE SITUATED AT OR NEAR THE INLET AND THE OUTLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, ALL APPROPRIATE PRECAUTIONS REGARDING CONTINUED SPACE ENTRY AND OSHA REGULATIONS SHOULD BE FOLLOWED.
 ANNUAL INSPECTIONS ARE BEST PRACTICE FOR ALL UNDERGROUND SYSTEMS. DURING THIS INSPECTION, IF EVIDENCE OF SALTING/DE-ICING AGENTS IS OBSERVED WITHIN THE SYSTEM, IT IS BEST PRACTICE FOR THE SYSTEM TO BE RINSED, INCLUDING ABOVE THE SPRING LINE SOON AFTER THE SPRING THAW AS PART OF THE MAINTENANCE PROGRAM FOR THE SYSTEM.
 MAINTAINING AN UNDERGROUND DETENTION OR INFILTRATION SYSTEM IS EASIER WHEN THERE IS NO FLOW ENTERING THE SYSTEM. FOR THIS REASON, IT IS A GOOD IDEA TO SCHEDULE THE CLEANOUT DURING DRY WEATHER.
 THE FOREGOING INSPECTION AND MAINTENANCE EFFORTS HELP ENSURE UNDERGROUND PIPE SYSTEMS USED FOR STORMWATER DRAINAGE CONTINUE TO FUNCTION AS INTENDED. IF OBTAINING OR DESIRING RECOMMENDED REGULAR INSPECTION AND MAINTENANCE PRACTICES, INSPECTION AND MAINTENANCE RELATED TO THE STRUCTURAL INTEGRITY OF THE PIPE OR THE SOUNDNESS OF PIPE JOINT CONNECTIONS IS BEYOND THE SCOPE OF THIS GUIDE.



ADDITIONAL CONSIDERATIONS
 BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOATAION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DRAINAGE MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



DATE

REVISION DESCRIPTION

CONTECH ENGINEERED SOLUTIONS LLC
 www.contechES.com
 8025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
 800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH CMP DETENTION SYSTEMS
 CONTECH DYODS DRAWING

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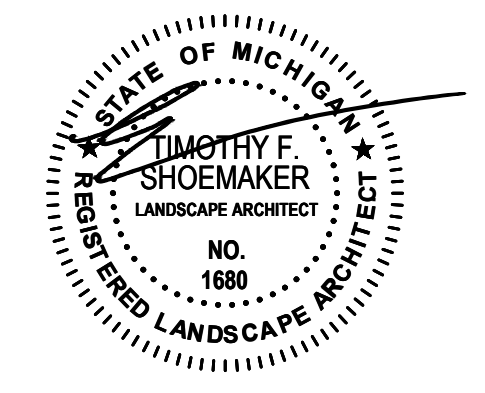
Farmington Village
33224 Grand River Ave
Farmington, MI 48336

PROJECT

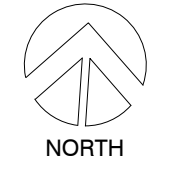
PRELIMINARY

Landscape Development
LANDSCAPE PLAN

SHEET TITLE



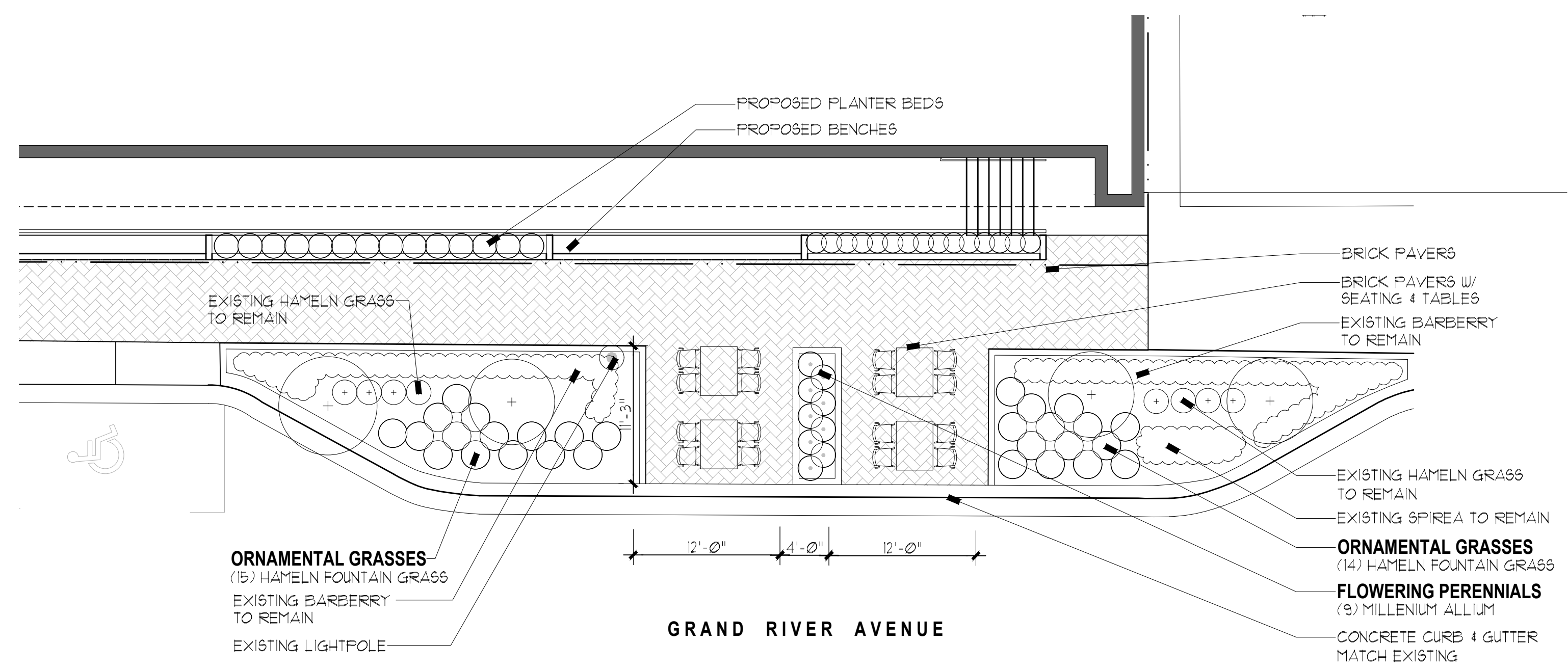
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SCALE

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DRAWN: M. Bayer
CHECKED: T. Shoemaker
DATE: April 27, 2026
REVISIONS: May 11, 2026

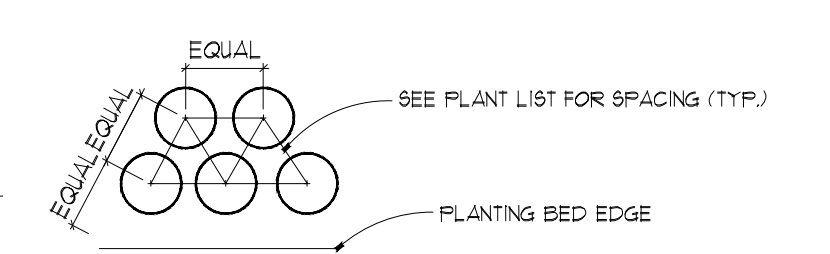
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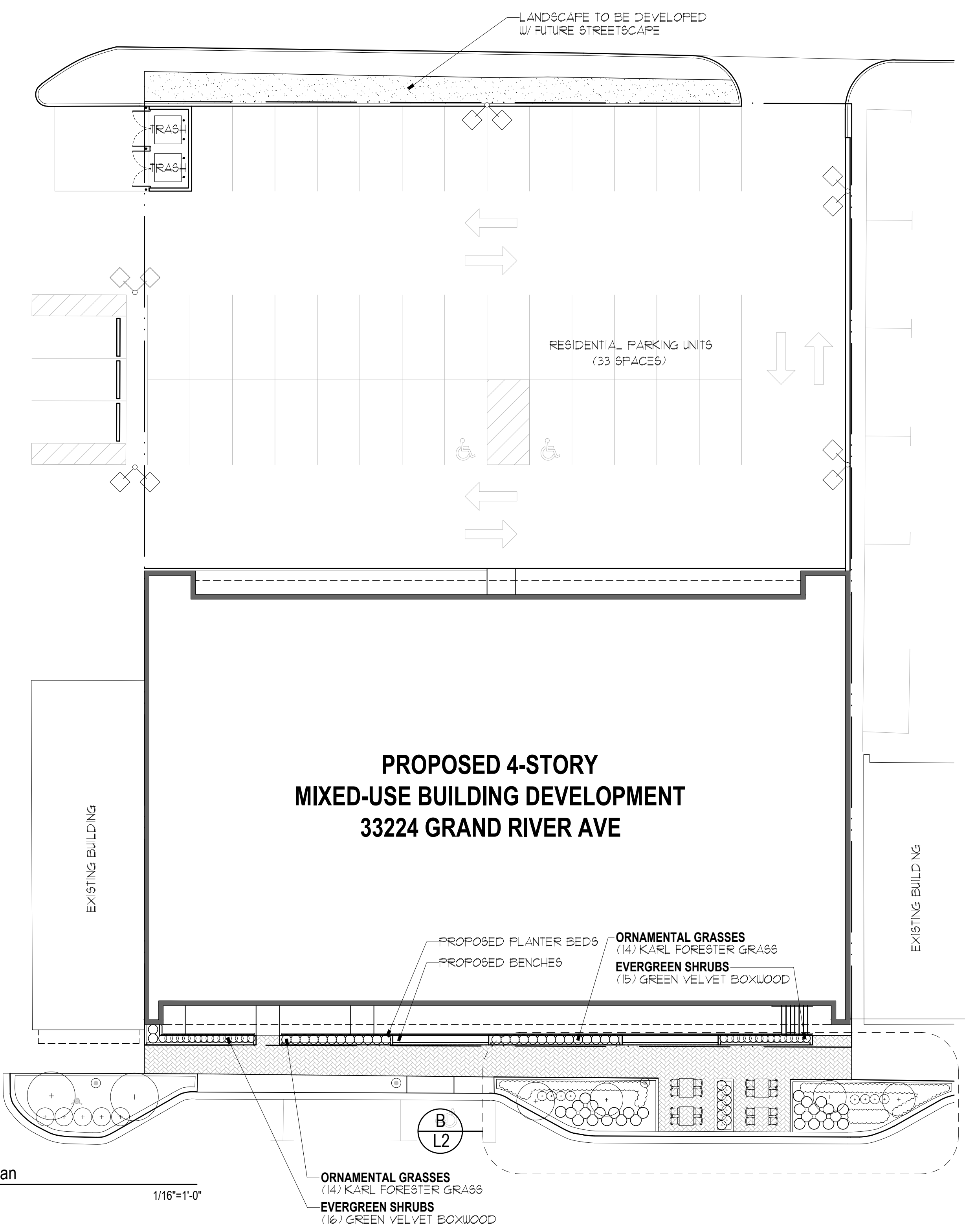
B
L2 Enlarged Planting Plan
Plan 1/8"=1'-0"

Qty.	Botanical Name	Common Name	Size	Root	Comments
Ornamental Grasses & Perennials					
29	<i>Fernisetum alopecuroides</i> 'Hameln'	Hameln Fountain Grass	1 gal.	Can	Space 26" o.c.
31	<i>Buxus x microphylla</i> 'Green Velvet'	Green Velvet Boxwood	15-18"	B4B	Space 15" o.c.
9	<i>Allium 'Millenium'</i>	Millenium Ornamental Onion	1 gal.	Can	Space 18" o.c.
28	<i>Calamagrostis x acutiflora</i> 'Karl Forester'	Karl Forester Grass	1 gal.	Can	Space 24" o.c.
Materials					
2 cy	Shredded pine bark mulch (seasoned), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds.				
6 cy	Planting mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss.				

IRRIGATION
Retrofit and adjust existing irrigation to accommodate proposed landscape plantings in ROW beds.
Install new irrigation (drip) for planter bed along building foundation.



Ground Cover / Perennial Planting
Plan No Scale



A
L1 Site Plan
Plan 1/16"=1'-0"

B
L2

THOMAS STREET (40' WIDE)

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	Lithonia Lighting	DSX0 LED P4 30K 80CRI BLC4	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Type 4 Extreme Backlight Control	7283	0.9	93.04
	B	7	Lithonia Lighting	WDGE2 LED P4 30K 80CRI TFFM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	4002	0.9	46.6589
	C	7	WAC Lighting	WS-W99418E 3500K	Surface-mounted Luminaires	1120	0.9	29.6566
	D	1	Lithonia Lighting	DSX0 LED P4 30K 80CRI RCCO	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control	7116	0.9	93.04

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	1.2 fc	9.5 fc	0.0 fc	N/A	N/A	0.1:1
North Entrance	X	6.3 fc	9.2 fc	4.5 fc	2.0:1	1.4:1	0.7:1
Parking	X	2.2 fc	5.2 fc	0.4 fc	13.0:1	5.5:1	0.4:1
South Entrance	X	0.7 fc	1.7 fc	0.2 fc	8.5:1	3.5:1	0.4:1

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

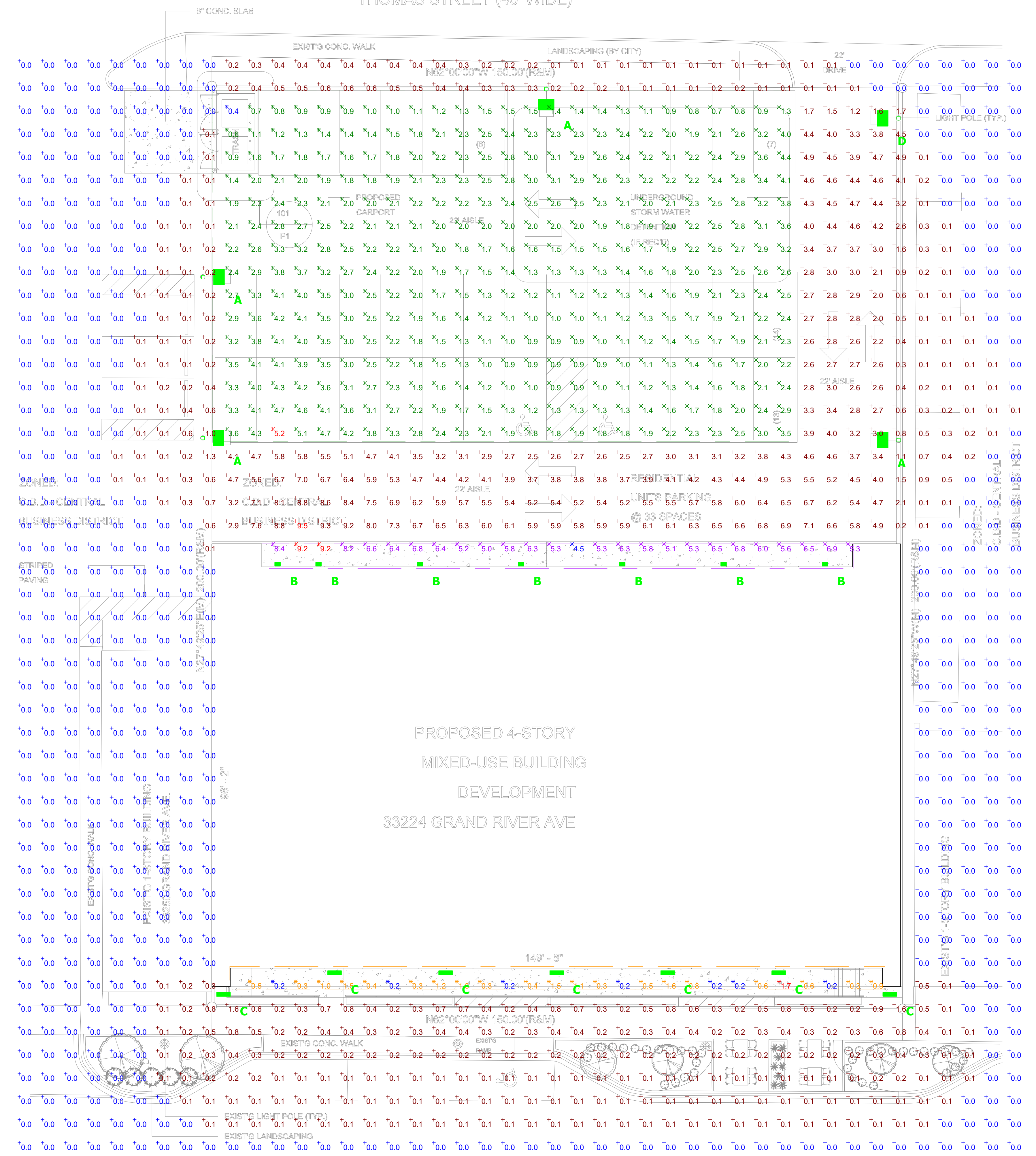
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



GRAND RIVER AVENUE (66' WIDE)

ZONED: C.B.D. - CENTRAL BUSINESS DISTRICT

Plan View
Scale - 1" = 12ft

NOTE: NOT TO BE USED AS CONSTRUCTION DRAWINGS



FARMINGTON VILLAGE PLACE
PHOTOMETRIC SITE PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
DB
Date
05/12/2026
Scale
Not to Scale
Drawing No.
QUICK CALC V2
1 of 1

AZEK[®]
EXTERIORS

ENGINEERED TO LAST BEAUTIFULLY

TIMBERTECH[®] CLADDING

VINTAGE COLLECTION[®] | LANDMARK COLLECTION[®]



THE MOST AUTHENTIC LOOKING
HARDWOOD ALTERNATIVE

TimberTech

PVC CLADDING

BY **AZEK**



For exterior materials on high-end, luxury buildings, there are two non-negotiables: beauty and functionality. TimberTech Advanced PVC Cladding delivers on both, capitalizing on the strength of both the AZEK Exteriors and TimberTech brands.

THE BEAUTY OF WOOD

TimberTech has unmatched technology to create the most realistic, authentic hardwood appearance. Best known for high-end decking, TimberTech boards deliver the beauty, textures, and colors of real wood within an Advanced PVC material. Unlike wood, however, our proprietary materials are essentially maintenance free, incredibly durable, and backed for decades by industry-leading warranties.

BUILDING EXTERIORS EXPERTISE

AZEK Exteriors brings decades of experience with functional and decorative components of a building exterior, including premium siding and trim, detailed mouldings, and innovative engineered casings and water management solutions. TimberTech Cladding offers many choices in colors, widths, and installation profiles to fulfill most any design requirements.

You can be confident specifying TimberTech Cladding in your designs. And your clients will appreciate the ingenuity of an exterior solution built to endure beautifully.



COASTLINE 5.5"
SQUARE-SHOULDERED BOARD



RESIDENTIAL WARRANTIES

TimberTech Advanced PVC Cladding is backed by an industry-leading Lifetime Limited Warranty and 50-Year Fade & Stain Limited Warranty.



COMMERCIAL WARRANTIES

Bring the enduring beauty of TimberTech Cladding to your commercial builds with the confidence guaranteed from durable, low-maintenance materials and industry-best performance.



FIRE RESISTANCE

The TimberTech Vintage Collection® and Landmark Collection® have a Class A Flame Spread Rating (the best available). This means that in a fire, flames will spread slower across the material surface. The collections also have wildland urban interface (WUI) compliance for both open-joint and closed-joint installation.



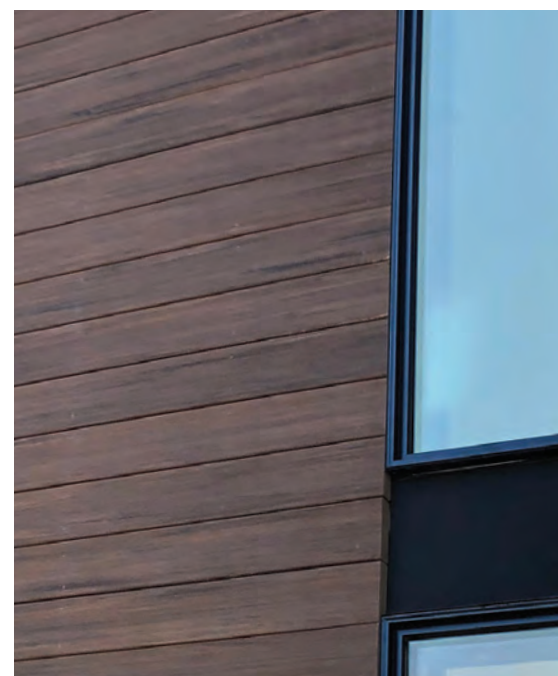
AUTHENTIC WOOD LOOKS WITHOUT THE MAINTENANCE

TimberTech Cladding from AZEK Exteriors' portfolio delivers the full visual experience of wood without the laborious, costly, and constant upkeep required with traditional lumber. TimberTech technology gives our Advanced PVC boards unrivaled aesthetics for a realistic wood look that lasts. Industry-leading warranties for both commercial and residential buildings inspire confidence in architects, builders, and building owners alike. Our curated collection empowers design flexibility with a variety of color choices and different board profiles and board widths.



BOLD. ELEGANT. TIMELESS.

TimberTech's one-of-a-kind Advanced PVC material was designed to deliver the most realistic wood look available, with absolutely no staining or painting. Unlike traditional wood, TimberTech withstands the elements without compromising on its color, texture, or structural integrity. That translates to a beautiful exterior finish without frequent upkeep or maintenance.



TIMBERTECH CLADDING

Made completely of new and recycled polymer, TimberTech Advanced PVC boards stay impervious to moisture, mold, and mildew while also resisting the fading effects of UV rays. Backed by industry-leading warranties, TimberTech Cladding delivers unrivaled design potential and integrity.



STAINED WOOD EXPOSED FOR SEVEN YEARS

Exposure to the elements takes a toll on traditional wood cladding — even premium hardwoods like ipe will fade to a worn gray without regular and costly maintenance. Traditional woods can be treated with stains and coatings for protection, but will still experience splintering, fading, and dimensional changes.



READ OUR
CLADDING
CASE STUDIES

DARK HICKORY
5.5" SQUARE-SHOULDERED BOARD



TimberTech
PVC CLADDING
BY AZEK

MAHOGANY
5.5" SQUARE-SHOULDERED BOARD

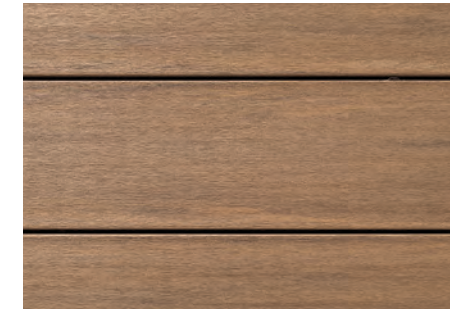
VINTAGE COLLECTION®

Exotic Hardwoods

The Vintage Collection is defined by natural-looking colors that mimic the look of ipe, teak, and other hardwoods. A subtle wire-brushed, low-gloss finish gives this elegant collection a truly authentic and sophisticated look. Unique board widths (narrow, standard, and wide) further open design possibilities.



COASTLINE®



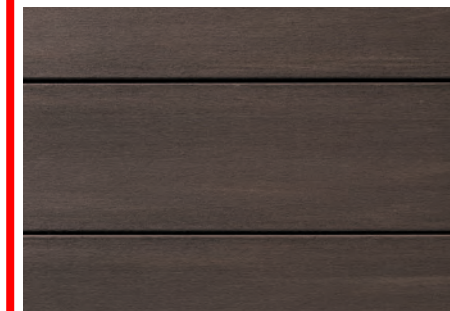
WEATHERED TEAK®



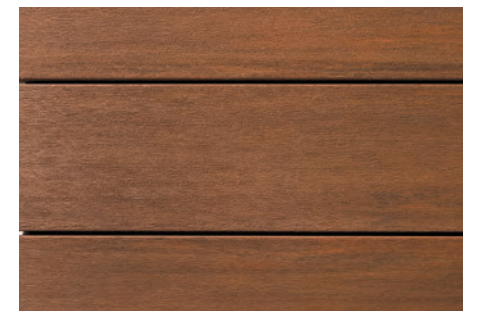
MAHOGANY



ENGLISH WALNUT®



DARK HICKORY

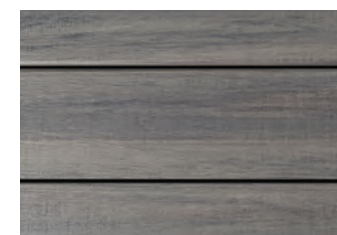


CYPRESS®

LANDMARK COLLECTION®

Crosscut Hardwoods

The Landmark Collection resembles popular hardwoods that have been crosscut for character-rich texture. Cascading colors define board-to-board color variation, ranging from dark, freshly stained walnut to the muted gray ambiance of weathered wood. Like all TimberTech Cladding, Landmark's distinctive grain and matte finish is fade resistant and needs no special maintenance.



CASTLE GATE™



AMERICAN WALNUT®



FRENCH WHITE OAK®



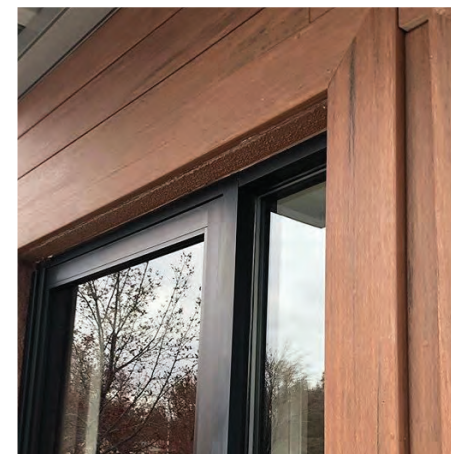
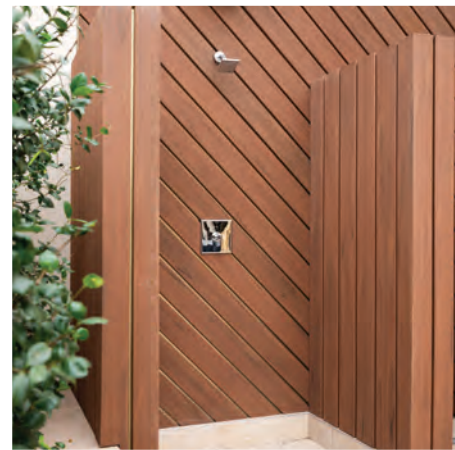
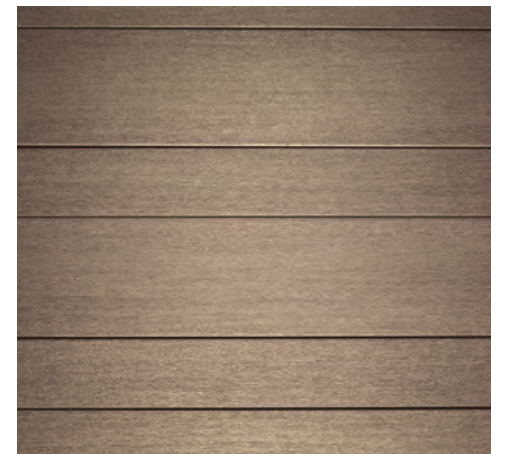
BOARDWALK®

DESIGN'S THE LIMIT

With an unmatched portfolio of diverse colors, woodgrain patterns, and board widths, the design potential with TimberTech Cladding is nearly limitless. Using moisture- and fade-resistant Advanced PVC technology, TimberTech Cladding boards protect the integrity of your exterior design vision for years to come. Build on the rich hues and textures of TimberTech Cladding to highlight an entryway, add design detail to a porch ceiling, or as one element among mixed building materials for a clean, dimensional finish.



ENGLISH WALNUT 5.5"
SQUARE SHOULDERED BOARD





TONGUE-AND-GROOVE

SQUARE-SHOULDERED

TONGUE-AND-GROOVE	WIDE WIDTH 5 1/2"		STANDARD WIDTH 3"	
Standard Thickness 1"	12'	16'	12'	16'
COASTLINE®	•	•	•	•
WEATHERED TEAK®	•	•	•	•
MAHOGANY	•	•	•	•
DARK HICKORY	•	•	•	•
ENGLISH WALNUT®	•	•	•	•
CYPRESS®	•	•	•	•

SQUARE-SHOULDER	NARROW WIDTH 3 1/2"	STANDARD WIDTH 5 1/2"	WIDE WIDTH 7 1/2"
VINTAGE Standard Thickness 1"	12' & 16'	16'	12' & 16'
COASTLINE®	•	•	•
WEATHERED TEAK®	•	•	•
MAHOGANY	•	•	•
DARK HICKORY	•	•	•
ENGLISH WALNUT	•	•	•
CYPRESS	•	•	•
LANDMARK Standard Thickness 1"	16'	16'	16'
FRENCH WHITE OAK®		•	
CASTLE GATE™		•	
AMERICAN WALNUT®		•	
BOARDWALK®		•	



ORDER A FREE SAMPLE TODAY



CLOSED-JOINT CLADDING

Sometimes referred to as "closed-joint," tongue-and-groove boards interlock together with ease, creating a solid barrier with a neat, smoothly finished look without gaps.

Tongue-and-groove board sizes:



CLOSED-JOINT, TONGUE-AND-GROOVE BOARD

The cladding applications depicted in this brochure are for display purposes only and not for the purpose of validating the suitability, warrantability, or safety of any particular installation or application of the product. Always consult AZEK's Installation Instructions as well as local building codes to ensure proper installation.

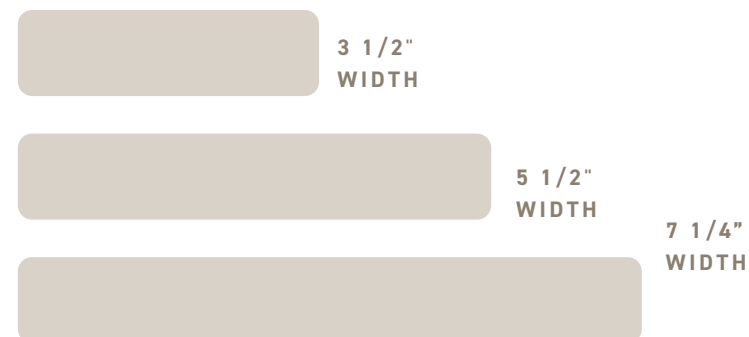
Depending on environmental conditions, TimberTech cladding colors may appear to change over time as part of the natural weathering process and consistent with applicable Fade & Stain Warranties.



OPEN-JOINT CLADDING

The open joints between the cladding elements create a strong, linear design pattern while also functionally providing ventilation for proper air circulation.

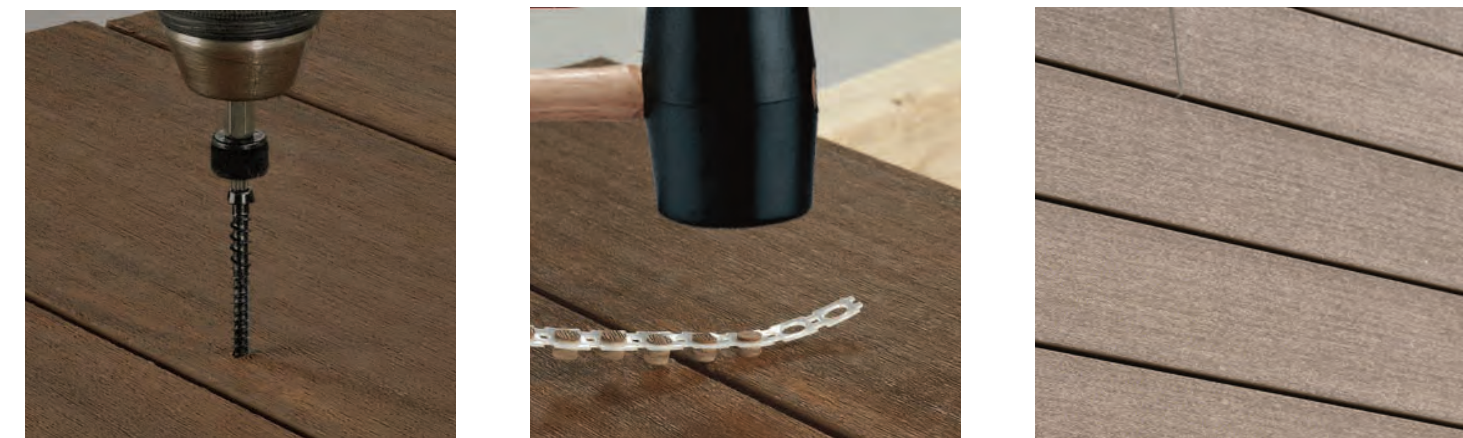
Square-shouldered board sizes:



OPEN-JOINT, SQUARE-SHOULDERED BOARD

CORTEX HIDDEN FASTENERS

The Cortex® hidden fastening system keeps the focus on the warm, authentic wood aesthetics, and not on the installation method.



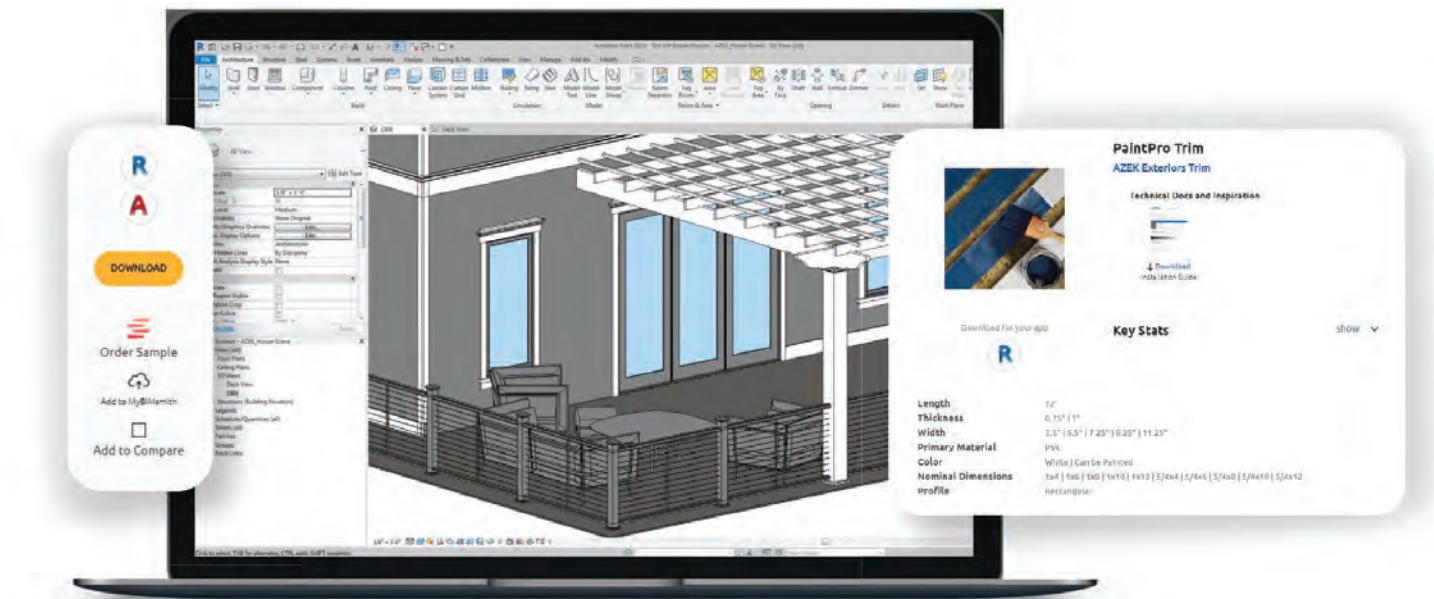


BUILDING A SUSTAINABLE FUTURE

The family of brands under The AZEK Company, including TimberTech and AZEK Exteriors, are trailblazers in recycling and using otherwise hard-to-recycle materials in our products. Since 2019, we have used over 2 billion pounds of waste and scrap in our production that otherwise could have gone into landfills or oceans and our goal is to use 1 billion pounds of waste and scrap annually. We are the largest vertically integrated PVC recycler in the USA.

TimberTech Advanced PVC Cladding boards are made from approximately 60% recycled materials and contain no organic wood — meaning no deforestation anywhere. We're not stopping there though. We're furthering our recycling capabilities every day, ensuring that TimberTech Cladding continues to deliver beauty, a long, low-maintenance lifespan, and environmentally conscious leadership.

GET TIMBERTECH AND AZEK EXTERIORS REVIT® FILES



AZEK Exteriors and TimberTech are pleased to provide Revit® content for our premium exterior building products. Get started with AZEK BIM projects today: market.bimsmith.com/AZEK.

- Installation Guides
- Architectural Specification
- Order FREE Samples
- CAD Drawings
- Care and Maintenance
- BIMsmith Content

EARN AIA OR AAA CONTINUING EDUCATION CREDITS



To help architects meet continuing education requirements, AZEK sponsors a series of approved courses, which are available for free through online courses, in-person presentations, and as webinars.

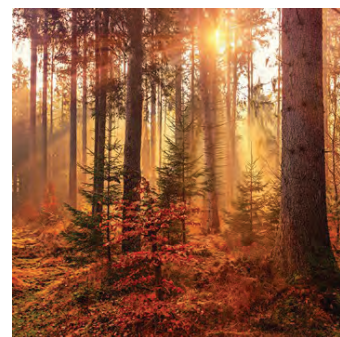


LEARN ABOUT OUR SUSTAINABILITY EFFORTS AND PROGRAM



TAKE ONLINE COURSES AND MORE FROM OUR ARCHITECT HUB

SUSTAINABLE CLADDING MATERIALS BY THE NUMBERS



3M TREES SAVED
Choosing TimberTech Cladding and Decking over wood has helped save the equivalent of more than 3 million trees in the past 20 years.



500M LBS DIVERTED
Across the company, we diverted roughly 500 million pounds of waste and scrap in 2022. We also reuse 99% of internal scrap.



97% WATER RECYCLED
Thanks to our closed-loop water filtration system, we recycle up to 97% of the water that our company uses each year.



OPEN-JOINT 3.5", 5.5" AND 7.25"
SQUARE-SHOULDERED BOARD

AZEK[™]
EXTERIORS

TimberTech[™]
BY AZEK₃

HIGHLINE B1

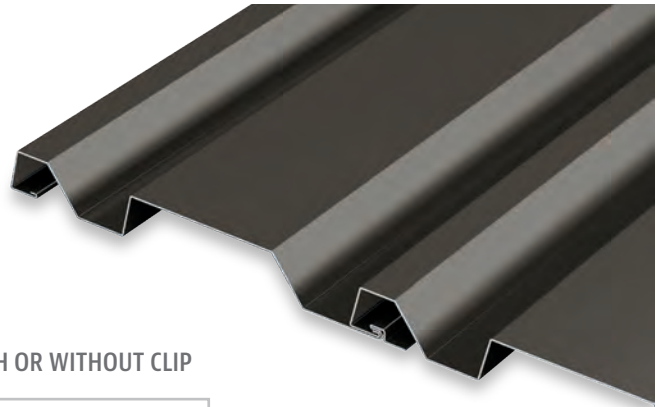
PRECISION SERIES WALL PANELS

MATERIALS

.032 aluminum	24 gauge steel
.040 aluminum	22 gauge steel
.050 aluminum	

SPECS

11.356" Wide	1-3/8" High
--------------	-------------



AVAILABLE WITH OR WITHOUT CLIP



PRODUCT FEATURES

- ▶ No-clip panel, or clip installation for expansion/contraction
- ▶ Panel depth of 1-3/8"
- ▶ Cost-effective installation
- ▶ Horizontal or vertical installation
- ▶ Panel lengths:
30' maximum for steel;
22' maximum for aluminum on the thru-fastened leg; longer lengths available on clip panels

MATERIAL

- ▶ 24 gauge steel
- ▶ 22 gauge steel
- ▶ .032 aluminum
- ▶ .040 aluminum
- ▶ .050 aluminum
- ▶ Galvalume Plus available

TESTS

- ▶ ASTM E330
- ▶ ASTM E283
- ▶ ASTM E331
- ▶ AAMA 501.1-05-B1, B2, C2, S1
- ▶ ASTM 1592

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Precision Series panels.

Note: Line drawings may not be to scale.

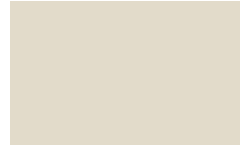


PAC-CLAD®

P E T E R S E N

A **CARLISLE** COMPANY

Color Guide



▲\$ SANDSTONE



▲\$ SIERRA TAN



▲\$ DARK BRONZE



▲\$ BURNISHED SLATE



\$ MIDNIGHT BRONZE



▲\$ MANSARD BROWN



▲\$ CHARCOAL



▲\$ GRAPHITE



✘\$ ONYX (fka Matte Black)



\$ TRADITIONAL BLACK



▲\$ CARDINAL RED



▲✘\$ MILITARY BLUE



\$ AWARD BLUE



▲\$ HEMLOCK GREEN



\$ FOREST GREEN



▲✘\$ PATINA GREEN

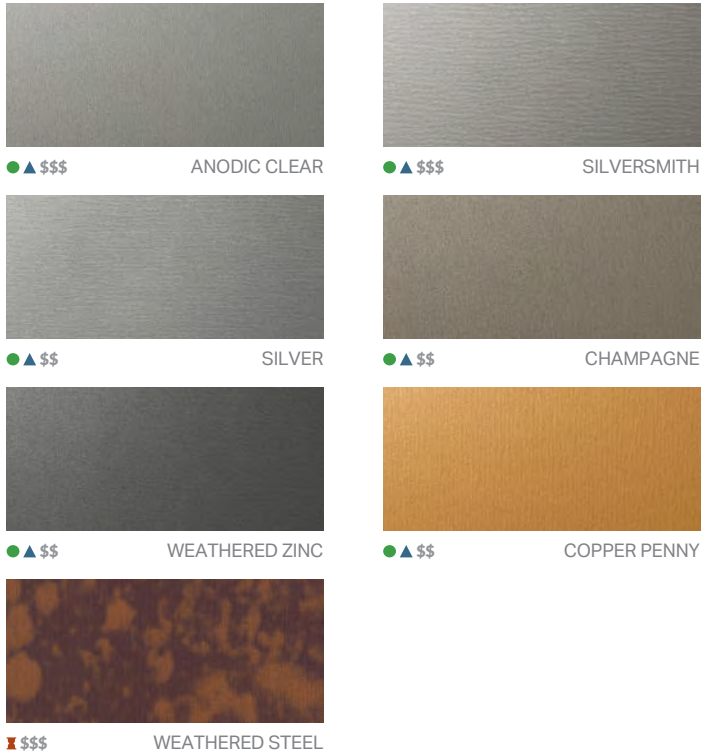


✘\$ HARTFORD GREEN



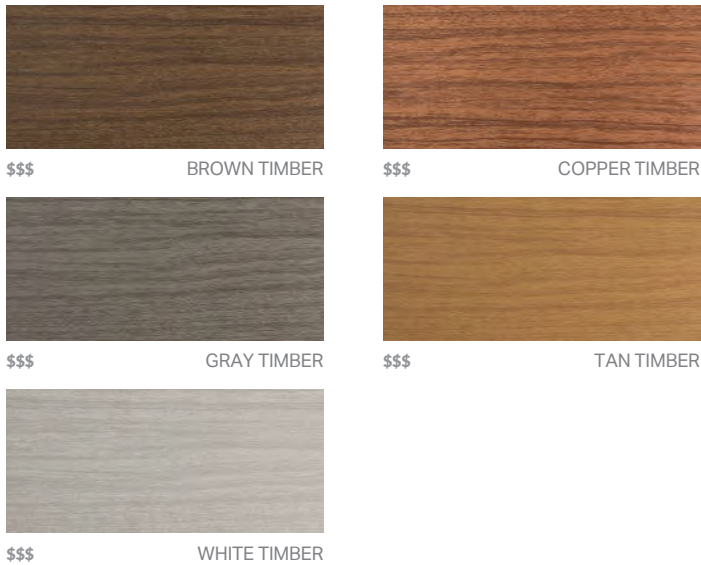
\$ GALVALUME PLUS

Premium Colors



Timber Series Wood Grain

Available in 24 gauge steel and .032 aluminum



70% polyvinylidene fluoride (PVDF) pre-finished steel and aluminum for all architectural cladding applications

● Metallic Colors \$ Pricing ▲ Cool Colors ✘ Extended Lead Time

See back for color performance and availability chart

Standard Colors



IL: 800 PAC CLAD TX: 800 441 8661 MD: 800 344 1400
AZ: 833 750 1935 GA: 800 272 4482 WA: 833 750 1935

Performance and Availability

STANDARD COLORS	REFLECTIVITY	EMISSIVITY	3 YEAR EXPOSURE	SRI	STEEL			ALUMINUM			20-IN. COIL	
					24 GA.	22 GA.	.032	.040	.050	.063	24 GA.	.032
AWARD BLUE †	0.25	0.86	0.23	24	✓		✓					
BLACK (FKA BLACK ALUMINUM)	0.05	0.90	0.04	0	✓	✓	✓	✓	✓	✓	✓	✓
BONE WHITE	0.70	0.86	0.69	85	✓	✓	✓	✓	✓	✓	✓	✓
BURNISHED SLATE	0.32	0.86	0.31	33	✓						✓	
CARDINAL RED †	0.44	0.86	0.44	49	✓		✓				✓	✓
CHARCOAL	0.30	0.87	0.30	31	✓		✓	✓	✓		✓	✓
CITYSCAPE	0.05	0.87	0.50	57	✓	✓	✓	✓	✓		✓	✓
CLASSIC BRONZE * NEW	0.27	0.87	N/A	27	✓						✓	
COLONIAL RED	0.34	0.87	0.31	36	✓		✓	✓	✓		✓	✓
DARK BRONZE	0.27	0.86	0.29	26	✓	✓	✓	✓	✓	✓	✓	✓
FOREST GREEN	0.10	0.88	0.10	5	✓		✓	✓			✓	✓
GRANITE *	0.32	0.86	0.33	33	✓	✓	✓	✓	✓			✓
GRAPHITE	0.25	0.86	0.28	24	✓						✓	
HEMLOCK GREEN	0.31	0.87	0.30	32	✓		✓				✓	
INKWELL * NEW	0.27	0.86	N/A	26	✓						✓	
INTERSTATE BLUE	0.16	0.87	0.15	12	✓		✓		✓		✓	✓
IRON ORE NEW	0.27	0.87	N/A	27	✓		✓	✓	✓		✓	✓
MANSARD BROWN	0.31	0.87	0.31	32	✓		✓	✓	✓		✓	✓
MEDIUM BRONZE	0.30	0.88	0.29	31	✓	✓	✓	✓	✓	✓	✓	✓
MIDNIGHT BRONZE	0.06	0.90	0.06	1	✓			✓			✓	
MUSKET GRAY	0.32	0.87	0.31	33	✓	✓	✓		✓		✓	✓
PACIFIC BLUE (fka SLATE BLUE)	0.28	0.87	0.27	28	✓		✓				✓	✓
SANDSTONE	0.48	0.87	0.48	55	✓	✓	✓	✓	✓	✓		
SIERRA TAN	0.38	0.85	0.31	40	✓	✓	✓	✓	✓		✓	✓
SLATE GRAY	0.41	0.87	0.37	45	✓	✓	✓	✓	✓		✓	✓
STONE WHITE	0.69	0.86	0.67	84	✓	✓	✓	✓	✓	✓		
TERRA COTTA	0.35	0.87	0.33	37	✓		✓	✓	✓	✓		✓
TRADITIONAL BLACK * NEW	0.28	0.87	N/A	28	✓		✓				✓	✓
EXTENDED LEAD TIME												
AGED BRONZE	0.29	0.87	0.27	29	✓						✓	
ALMOND	0.63	0.85	0.55	75	✓	✓	✓	✓	✓			
ANTIQUE BRONZE NEW	0.28	0.86	N/A	27	✓		✓	✓			✓	✓
BERKSHIRE BLUE *	0.29	0.86	0.27	29	✓							
BUCKSKIN NEW	0.37	0.86	N/A	39	✓						✓	✓
BURGUNDY	0.24	0.86	0.13	22	✓						✓	
HARTFORD GREEN	0.08	0.88	0.08	3	✓			✓			✓	
MILITARY BLUE	0.31	0.87	0.30	32	✓		✓				✓	✓
ONYX (fka MATTE BLACK STEEL)	0.26	0.85	0.25	24	✓	✓					✓	
PATINA GREEN	0.33	0.86	0.32	34	✓							
WEATHERED STEEL 🏰	0.26	0.86	N/A	25	✓							
PREMIUM COLORS												
ANODIC CLEAR 🏰	0.53	0.81	0.31	60				✓				
CHAMPAGNE 🏰	0.40	0.78	0.49	40	✓		✓	✓	✓			✓
COPPER PENNY 🏰	0.50	0.86	0.52	57	✓		✓	✓	✓		✓	✓
SILVER 🏰	0.47	0.82	0.46	52	✓	✓	✓	✓	✓		✓	✓
SILVERSMITH 🏰	0.54	0.81	0.32	61			✓	✓				
WEATHERED ZINC 🏰	0.24	0.83	0.46	21	✓		✓		✓		✓	✓
CLEAR-COAT ACRYLIC FINISH (NON-PVDF)												
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					✓	

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980. Reflectivity and solar reflectance index (SRI) values are provided by Sherwin-Williams®.

* Low Gloss/Low Sheen, 70% PVDF finish † 10-year finish warranty 🏰 Premium Colors

TECHNICAL DATA FOR 70% PVDF COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass

- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum: 3000 hours, creep from scribe no more than 1/16" (2mm), no field blisters. Galvalume or HDG: 2000 hours, creep from scribe no more than 1/8" (4mm), no field blisters

- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35
- ▶ Abrasion Resistance (ASTM D 968): 80 Liters/Mil +/- 5 Liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating

Standard Colors



Premium Colors

Premium colors require a nominal surcharge.



Natural Metal Finish

Acrylic-Coated Galvalume® is a coated sheet product that combines the corrosion resistance of Galvalume® steel sheet with a clear, organic resin applied to the top side and backside of Galvalume® substrate.



Acrylic-Coated Galvalume®

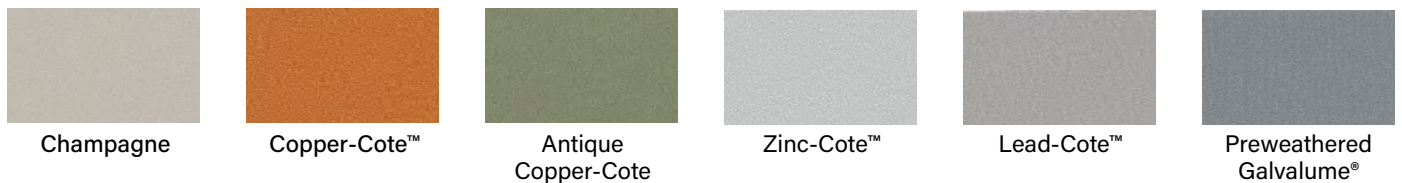
Natural White



Award Blue

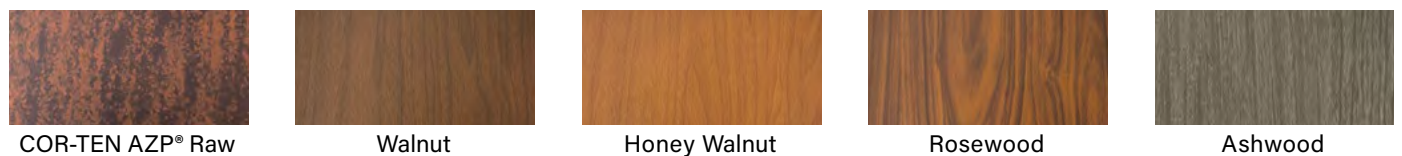
Metallic Colors

Metallic colors are premium finishes which require a nominal surcharge.



Print Pattern Finishes

Consult BMC for current print pattern pricing, availability, and lead times. Due to normal production variation, print pattern finishes may vary slightly between production runs.



BERRIDGE STOCK AVAILABILITY AND COLOR DETAILS

S - Stock Color N - Non-Stocking Color N/A - Not Available

Standard Colors	24 Gauge		22 Gauge*		0.032 Aluminum*		0.040 Aluminum*		SR	EM	SRI
	48"	42"	48"	42"	48"	42"	48"	42"			
Aged Bronze	S	S	S	N	N	N	N	N	0.31	0.85	31
Almond	S	S	S	N	N	N	N	N	0.65	0.86	77
Bristol Blue	S	S	N	N	N	N	N	N	0.33	0.85	33
Buckskin	S	S	S	N	N	N	N	N	0.43	0.83	46
Burgundy	S	S	N	N	N	N	N	N	0.32	0.84	32
Charcoal Grey	S	S	S	S	N	N	N	N	0.29	0.84	28
Cityscape	S	S	S	S	N	N	N	N	0.48	0.85	54
Colonial Red	S	S	N	N	N	N	N	N	0.35	0.83	35
Copper Brown	S	S	N	N	N	N	N	N	0.32	0.85	32
Dark Bronze	S	S	S	S	N	N	N	N	0.28	0.85	27
Deep Red	S	S	N	N	N	N	N	N	0.41	0.84	44
Evergreen	S	S	N	N	N	N	N	N	0.30	0.83	29
Forest Green	S	S	S	N	N	N	N	N	0.30	0.83	29
Hartford Green	S	S	N	N	N	N	N	N	0.27	0.83	25
Hemlock Green	S	S	N	N	N	N	N	N	0.31	0.84	31
Jet Black	S	S	N	N	N	N	N	N	0.04	0.88	-2
Matte Black	S	S	S	S	N	N	N	N	0.26	0.83	24
Medium Bronze	S	S	S	S	N	N	N	N	0.31	0.85	31
Parchment	S	S	S	N	N	N	N	N	0.60	0.85	71
Patina Green	S	S	N	N	N	N	N	N	0.34	0.85	35
Royal Blue	S	S	N	N	N	N	N	N	0.27	0.85	26
Shasta White	S	S	S	N	N	N	N	N	0.61	0.85	73
Sierra Tan	S	S	S	N	N	N	N	N	0.39	0.85	42
Teal Green	S	S	N	N	N	N	N	N	0.26	0.84	25
Terra-Cotta	S	S	N	N	N	N	N	N	0.36	0.84	38
Zinc Grey	S	S	S	S	N	N	N	N	0.39	0.85	42
Acrylic-Coated Galvalume®	S	S	S	S	N/A	N/A	N/A	N/A	0.67	0.20	59
Premium Colors*											
Award Blue	S	S	N	N	N	N	N	N	0.17	0.83	11
Natural White	S	S	N	N	N	N	N	N	0.71	0.85	86
Metallic Colors*											
Antique Copper-Cote	S	S	N	N	N	N	N	N	0.33	0.84	34
Champagne	S	S	N	N	N	N	N	N	0.40	0.85	43
Copper-Cote™	S	S	N	N	N	N	N	N	0.51	0.85	59
Lead-Cote™	S	S	N	N	N	N	N	N	0.36	0.86	38
Preweathered Galvalume®	S	S	N	N	N	N	N	N	0.40	0.85	43
Zinc-Cote™	S	S	N	N	N	N	N	N	0.53	0.83	59
Print Pattern Finishes**											
COR-TEN AZP® Raw	S	N	S	N	N/A	N/A	N/A	N/A	0.32	0.89	34
Walnut	S	N	S	N	N/A	N/A	N/A	N/A	-	-	-
Honey Walnut	S	N	S	N	N/A	N/A	N/A	N/A	-	-	-
Rosewood	S	N	S	N	N/A	N/A	N/A	N/A	-	-	-
Ashwood	S	N	N	N	N/A	N/A	N/A	N/A	-	-	-

Testing results for Kynar 500® or Hylar 5000® PVDF Resin-Based Color Finishes coil coating applications:

- Specular Gloss: (ASTM D-523) Low and medium gloss only
- Color Uniformity: (ASTM D-2244) Color controlled both instrumentally and visually
- Dry Film Thickness: (ASTM D-7091, ASTM D-1005, NCCA 11-13, 11-14, 11-15) Primer 0.20 ± 0.05 mil, topcoat 0.75 ± 0.05 mil
- Hardness: (ASTM D-3363, NCCA 11-12, Eagle Turquoise Pencils) HB Minimum
- Adhesion (X-Cut): (ASTM D-3359) No adhesion loss
- Adhesion (Crosshatch): (ASTM D-3359) No adhesion loss
- Abrasion Coefficient: (ASTM D-968) 100 liters/mil topcoat
- Direct Impact Flexibility: (ASTM D-2794, Gardner Impact Tester, 1/10" Distortion) Excellent, no removal
- Reverse Impact Flexibility: (NCCA Spec. 11, ASTM D-2794, Gardner Impact Tester, 5/8" ball Impact force in inch pounds equal to metal thickness) Excellent, no cracking or loss of adhesion
- Formability: (ASTM D-4145, 180° T-Bend on 1/8 Mandrel) No cracks or loss of adhesion
- Erosion: (20 years, 45° South Florida) Maximum 15% loss
- Humidity Resistance: (ASTM D-2247) Passes 2000 hours on Galvalume® and 4000 hours on Aluminum
- Acid Resistance: (ASTM D-1308, Proc. 3.1.1, 10% Sulfuric Acid spot test, 24 hour exposure) Excellent, no effect
- Salt Spray Resistance: (ASTM B-117) Passes 2000 hours on Galvalume® and 4000 hours on Aluminum
- Alkali Resistance: (ASTM D-1308, Proc. 5.2, 10% Sodium Hydroxide, 24 hour exposure) Excellent, no effect
- Detergent Resistance: (ASTM D-2248, 72 hours immersion in 3% solution at 100°F) Excellent, no effect
- Resistance to Acid Pollutants: (ASTM D 1308 Proc. 3.1.1, 24 hour exposure 10% HNO³ vapors) Excellent, no effect
- Weathering - Color Retention: (ASTM D-2244, 20 years, 45° South Florida) Maximum 5 NBS units color change
- Weathering - Chalk Resistance: (ASTM D-4214, 20 years, 45° South Florida) Not worse than No. 8 rating

Notes:

1. ASTM - American Society for Testing Materials
2. NCCA - National Coil Coating Association
3. Galvalume® is 55% Aluminum-Zinc alloy coated sheet steel and is a registered trademark of BIEC International Inc.
4. Kynar 500® is a registered trademark belonging to Arkema, Inc.
5. Hylar 5000® is a registered trademark belonging to Solvay Solexis, Inc.

S Stock Color; Not subject to a minimum order
 N Non-Stock Color; subject to inventory on hand; 4,500 sf minimum order for 22 Gauge and 0.032 & 0.040 Aluminum
 N/A Not Available
 * Consult BMC on product availability. Premium and Metallic finishes are subject to a nominal surcharge, contact BMC for additional information.
 ** Consult Berridge on pricing and availability for Print Pattern Finishes.

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 Fax (210) 650-0379

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BERRIDGE CALIFORNIA SALES CORPORATION***
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*** Berridge California and Florida Sales Corporations are separate entities from Berridge Manufacturing Company.



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
WWW.BERRIDGE.COM

Expert Pick

SW 6258

Tricorn Black

FULL DETAILS 

LRV: 3 

RGB: 47 / 47 / 48

Hex Value: #2F2F30

Location Number: 251-C1

Available in: Interior/Exterior

Color Collections: Color ID (Trendsetter), Colormix Forecast 2021 (Tapestry), Top 50 Colors, Colormix Forecast 2024 (a Gather of Deeps & Darks), Gallery Series, Top Interior Colors, Top Exterior Colors

Color Family(s): Neutral

Smarten up your space with this trendy, never-boring black. Pair it with white for a classic contrast. Since it's a true black, it works with any undertone.



a landscapiforms® company

Aspect Series LANDSCAPE PLANTERS

Fine precast concrete landscape planter.



TO SPECIFY

Select the ASP product number along with the options below.

Drainage

- Standard diameter hole: approximately 2-3/8"
- Custom size to function with irrigation & drainage (note size of plumbing fixture to be used)

Concrete Color

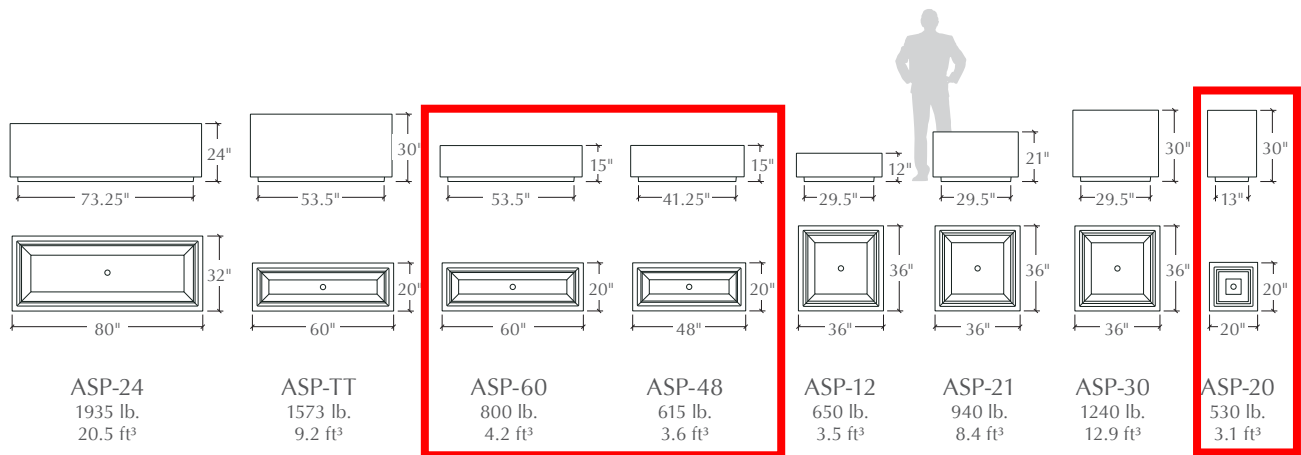
- Natural gray concrete
- 9 standard color options available
- Additional color mixing available

Finishing

- Bituminous sealer (suggested for interior applications)
- Sandblast finish

Notes

- See website to download CSI specifications
- Prices vary based on color, sandblasting, sealer and extra drain holes



All weights are approximate. Volume is calculated 1" down from the top surface of the planter.

In 2018, Larry Kornegay designed the Aspect Series exclusively for Kornegay Design® LLC, a Landscapiforms® company

v. 2022.09.13



a landscapiforms® company

Concrete Color Palette



Standard Colors

This pdf color card is just for ideas. If you choose a color by viewing this on your PC or from a printout of the pdf file, your colored concrete may be a big surprise. For the most accurate representation please make your selection from our hard samples. All standard colors will have a 15% up charge over Natural Gray.

The natural base color of concrete, finishing and curing method determines final color. This card simulates lab samples made from Type II gray cement, sand and water at 0.56 water/cement ratio for a 4" slump. Different cements, sand, rock, mixing and conditions can alter color from this card. Concrete is produced from natural materials. Surface variation common to uncolored concrete can impact colored concrete.



Ash White



Dune



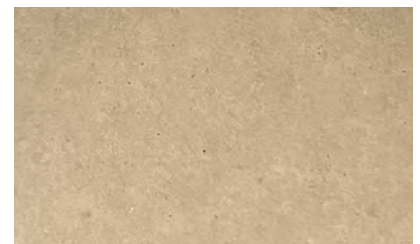
Graphite (Iron Oxide)



Natural Gray



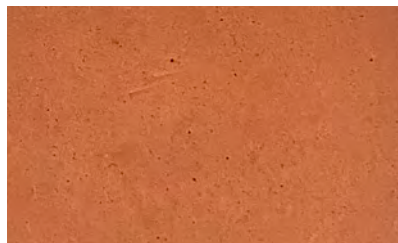
Palomino



Sandstone



Silver Smoke (Iron Oxide)



Terra Cotta



Willow Green

Additional Color Mixing Available

Other colors are available for an additional up charge that will be determined at the time of quoting.



D-Series Size 0 LED Area Luminaire



Catalog
Number

Notes **Mounted at 18'-0"**

Type

Hit the Tab key or mouse over the page to see all interactive elements.

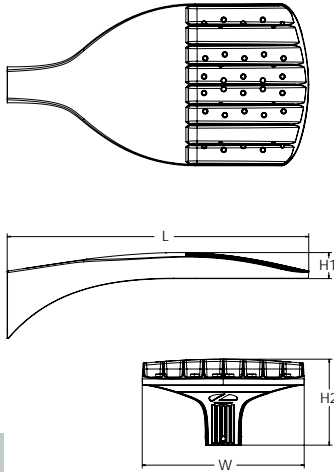
Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.44 ft ² (0.04 m ²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



ds Design Select options indicated by this color background.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting	
	DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare ³ T4M Type IV medium T4LG Type IV low glare ³ TFTM Forward throw medium	T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control ³ BLC4 Type IV backlight control ³ LCCO Left corner cutoff ³ RCCO Right corner cutoff ³	MVOLT (120V-277V) ⁴ HVOLT (347V-480V) ^{5,6} XVOLT (277V-480V) ^{7,8} 120 ^{16, 24} 208 ^{16, 24} 240 ^{16, 24} 277 ^{16, 24} 347 ^{16, 24} 480 ^{16, 24}	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole) ⁹ RPAS Round pole mounting (#5 drilling, 3" min. RND pole) ⁹ SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket ¹⁰ MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
		Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI 80CRI 80CRI 80CRI 80CRI				

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 18, 19} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13, 18, 19} PER NEMA twist-lock receptacle only (controls ordered separate) ¹⁴ PERS Five-pin receptacle only (controls ordered separate) ^{14, 19}	PER7 Seven-pin receptacle only (controls ordered separate) ^{14, 19} FAO Field adjustable output ^{15, 19} BL30 Bi-level switched dimming, 30% ^{16, 19} BL50 Bi-level switched dimming, 50% ^{16, 19} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
	Shipped installed HS Houseside shield (black finish standard) ²⁰ L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ²¹ HA 50°C ambient operation ²² BAA Buy America(n) Act and/or Build America Buy America Qualified SF Single fuse (120, 277, 347V) ²⁴ DF Double fuse (208, 240, 480V) ²⁴ Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²³
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²³
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²³
DSHORT SBK	Shorting cap ²³
DSXOHS P#	House-side shield (enter package number P1-7, P10-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXOEGSR (FINISH)	External glare shield (specify finish)
DSXOBSDB (FINISH)	Bird spike deterrent bracket (specify finish)

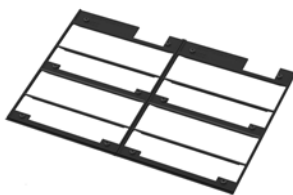
NOTES

- 1 Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 2 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- 3 T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- 4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 5 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- 6 HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- 7 XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- 8 XVOLT not available in packages P1, P2, or P10. XVOLT not available with fusing (SF or DF). XVOLT also not available in packages P3, P4, P5, P7, P11, P13 when combined with NLTAIR2 PIRHN or PIR.
- 9 SPAS and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- 10 WBA cannot be combined with Type 5 distributions plus photocell (PER).
- 11 NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
- 12 NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1 using MVOLT.
- 13 PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1 using MVOLT.
- 14 PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 15 FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
- 16 BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG. BL30 or BL50 must specify 120 or 277V.
- 17 DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
- 18 Reference Motion Sensor Default Settings table on page 4 to see functionality.
- 19 Reference Controls Options table on page 4.
- 20 Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 21 CCE option not available with option B5 and EGSR. Contact Technical Support for availability.
- 22 Option HA not available with performance packages P6, P7, P12 and P13.
- 23 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- 24 Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories



External Glare Shield (EGSR)

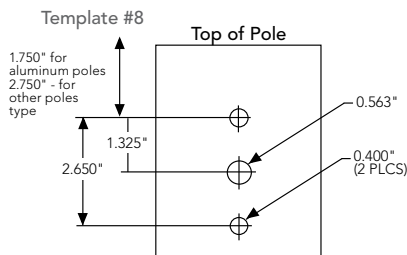
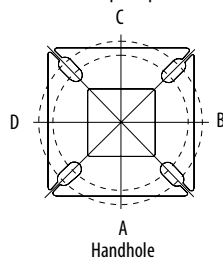


House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION

(from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPAS	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPAS, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [homepage](#).

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V



Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	33W	20	530	T1S	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157				
				T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145				
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147				
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131				
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149				
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136				
				TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150				
				T5M	4,801	3	0	1	145	5,003	3	0	1	151	5,101	3	0	1	154				
				T5W	4,878	3	0	1	147	5,084	3	0	2	153	5,183	3	0	2	156				
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154				
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107				
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111				
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108				
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108				
				AFR	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157				
				P2	45W	20	700	T1S	6,328	1	0	1	140	6,595	1	0	1	146	6,724	1	0	1	149
								T2M	5,862	1	0	2	130	6,109	1	0	2	135	6,228	1	0	2	138
T3M	5,930	1	0					3	131	6,180	1	0	3	137	6,301	1	0	3	140				
T3LG	5,297	1	0					1	117	5,521	1	0	1	122	5,628	1	0	1	125				
T4M	6,018	1	0					3	133	6,272	1	0	3	139	6,395	1	0	3	142				
T4LG	5,474	1	0					1	121	5,705	1	0	1	126	5,816	1	0	1	129				
TFTM	6,060	1	0					3	134	6,316	1	0	3	140	6,439	1	0	3	143				
T5M	6,192	3	0					1	137	6,453	3	0	2	143	6,579	3	0	2	146				
T5W	6,293	3	0					2	139	6,558	3	0	2	145	6,686	3	0	2	148				
T5LG	6,210	2	0					1	138	6,472	3	0	1	143	6,598	3	0	1	146				
BLC3	4,313	0	0					2	96	4,495	0	0	2	100	4,583	0	0	2	102				
BLC4	4,455	0	0					2	99	4,643	0	0	2	103	4,733	0	0	2	105				
RCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102				
LCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102				
AFR	6,328	1	0					1	140	6,595	1	0	1	146	6,724	1	0	1	149				
P3	69W	20	1050					T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
								T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129
				T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130				
				T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116				
				T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0	3	132				
				T4LG	7,790	1	0	2	113	8,119	1	0	2	118	8,277	1	0	2	120				
				TFTM	8,624	1	0	3	125	8,988	1	0	3	130	9,163	2	0	3	133				
				T5M	8,812	3	0	2	128	9,184	4	0	2	133	9,363	4	0	2	136				
				T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138				
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136				
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95				
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98				
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95				
				LCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95				
				AFR	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139				
				P4	93W	20	1400	T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130
								T2M	10,557	2	0	3	113	11,003	2	0	3	118	11,217	2	0	3	121
T3M	10,680	2	0					3	115	11,130	2	0	3	120	11,347	2	0	3	122				
T3LG	9,540	1	0					2	103	9,942	1	0	2	107	10,136	1	0	2	109				
T4M	10,839	2	0					3	117	11,296	2	0	3	121	11,516	2	0	4	124				
T4LG	9,858	1	0					2	106	10,274	1	0	2	110	10,474	1	0	2	113				
TFTM	10,914	2	0					3	117	11,374	2	0	3	122	11,596	2	0	3	125				
T5M	11,152	4	0					2	120	11,622	4	0	2	125	11,849	4	0	2	127				
T5W	11,332	4	0					3	122	11,811	4	0	3	127	12,041	4	0	3	129				
T5LG	11,184	3	0					1	120	11,656	3	0	2	125	11,883	3	0	2	128				
BLC3	7,768	0	0					2	83	8,096	0	0	2	87	8,254	0	0	2	89				
BLC4	8,023	0	0					3	86	8,362	0	0	3	90	8,524	0	0	3	92				
RCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90				
LCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90				
AFR	11,396	1	0					2	122	11,877	1	0	2	128	12,109	2	0	2	130				

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	90W	40	700	T1S	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146
				T2M	11,468	2	0	3	127	11,952	2	0	3	133	12,185	2	0	3	135
				T3M	11,601	2	0	3	129	12,091	2	0	3	134	12,326	2	0	4	137
				T3LG	10,363	2	0	2	115	10,800	2	0	2	120	11,011	2	0	2	122
				T4M	11,774	2	0	4	131	12,271	2	0	4	136	12,510	2	0	4	139
				T4LG	10,709	1	0	2	119	11,160	2	0	2	124	11,378	2	0	2	126
				TFTM	11,856	2	0	3	132	12,356	2	0	4	137	12,596	2	0	4	140
				T5M	12,114	4	0	2	134	12,625	4	0	2	140	12,871	4	0	2	143
				T5W	12,310	4	0	3	137	12,830	4	0	3	142	13,080	4	0	3	145
				T5LG	12,149	3	0	2	135	12,662	3	0	2	141	12,908	3	0	2	143
				BLC3	8,438	0	0	2	94	8,794	0	0	2	98	8,966	0	0	2	99
				BLC4	8,715	0	0	3	97	9,083	0	0	3	101	9,260	0	0	3	103
				RCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100
				LCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100
				AFR	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146
				P6	137W	40	1050	T1S	17,545	2	0	3	128	18,285	2	0	3	133	18,642
T2M	16,253	3	0					4	119	16,939	3	0	4	124	17,269	3	0	4	126
T3M	16,442	2	0					4	120	17,135	3	0	4	125	17,469	3	0	4	128
T3LG	14,687	2	0					2	107	15,306	2	0	2	112	15,605	2	0	2	114
T4M	16,687	2	0					4	122	17,391	3	0	5	127	17,730	3	0	5	129
T4LG	15,177	2	0					2	111	15,817	2	0	2	115	16,125	2	0	2	118
TFTM	16,802	2	0					4	123	17,511	2	0	4	128	17,852	2	0	5	130
T5M	17,168	4	0					2	125	17,893	5	0	3	131	18,241	5	0	3	133
T5W	17,447	5	0					3	127	18,183	5	0	3	133	18,537	5	0	3	135
T5LG	17,218	4	0					2	126	17,944	4	0	2	131	18,294	4	0	2	134
BLC3	11,959	0	0					3	87	12,464	0	0	3	91	12,707	0	0	3	93
BLC4	12,352	0	0					4	90	12,873	0	0	4	94	13,124	0	0	4	96
RCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94
LCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94
AFR	17,545	2	0					3	128	18,285	2	0	3	133	18,642	2	0	3	136
P7	171W	40	1300					T1S	20,806	2	0	3	122	21,683	2	0	3	127	22,106
				T2M	19,273	3	0	4	113	20,086	3	0	4	118	20,478	3	0	4	120
				T3M	19,497	3	0	5	114	20,319	3	0	5	119	20,715	3	0	5	121
				T3LG	17,416	2	0	2	102	18,151	2	0	2	106	18,504	2	0	2	108
				T4M	19,787	3	0	5	116	20,622	3	0	5	121	21,024	3	0	5	123
				T4LG	17,997	2	0	2	105	18,756	2	0	2	110	19,121	2	0	2	112
				TFTM	19,924	3	0	5	117	20,765	3	0	5	122	21,170	3	0	5	124
				T5M	20,359	5	0	3	119	21,217	5	0	3	124	21,631	5	0	3	127
				T5W	20,689	5	0	3	121	21,561	5	0	3	126	21,982	5	0	3	129
				T5LG	20,418	4	0	2	120	21,279	4	0	2	125	21,694	4	0	2	127
				BLC3	14,182	0	0	3	83	14,780	0	0	3	87	15,068	0	0	3	88
				BLC4	14,647	0	0	4	86	15,265	0	0	4	89	15,562	0	0	4	91
				RCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89
				LCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89
				AFR	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129

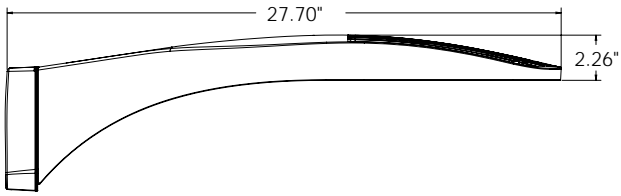
Performance Data

Lumen Output

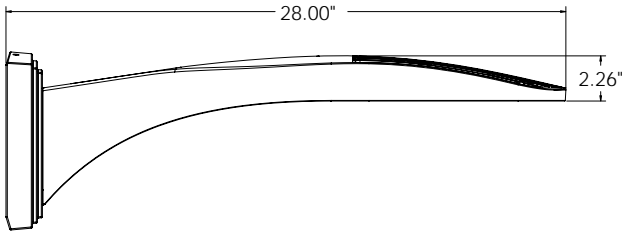
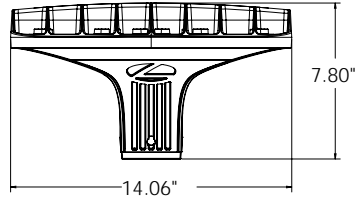
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Rotated Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P10	51W	30	530	T1S	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154				
				T2M	6,854	3	0	3	135	7,144	3	0	3	140	7,283	3	0	3	143				
				T3M	6,933	3	0	3	136	7,225	3	0	3	142	7,366	3	0	3	145				
				T3LG	6,194	2	0	2	122	6,455	2	0	2	127	6,581	2	0	2	129				
				T4M	7,036	3	0	3	138	7,333	3	0	3	144	7,476	3	0	3	147				
				T4LG	6,399	2	0	2	126	6,669	2	0	2	131	6,799	2	0	2	134				
				TFTM	7,086	3	0	3	139	7,385	3	0	3	145	7,529	3	0	3	148				
				T5M	7,239	3	0	2	142	7,545	3	0	2	148	7,692	3	0	2	151				
				T5W	7,357	3	0	2	145	7,667	3	0	2	151	7,816	4	0	2	154				
				T5LG	7,260	3	0	1	143	7,567	3	0	1	149	7,714	3	0	1	152				
				BLC3	5,043	3	0	3	99	5,256	3	0	3	103	5,358	3	0	3	105				
				BLC4	5,208	3	0	3	102	5,428	3	0	3	107	5,534	3	0	3	109				
				RCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106				
				LCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106				
				AFR	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154				
				P11	68W	30	700	T1S	9,358	3	0	3	138	9,753	3	0	3	143	9,943	3	0	3	146
								T2M	8,669	3	0	3	127	9,034	3	0	3	133	9,211	3	0	3	135
T3M	8,768	3	0					3	129	9,138	3	0	3	134	9,316	3	0	3	137				
T3LG	7,833	3	0					3	115	8,164	3	0	3	120	8,323	3	0	3	122				
T4M	8,899	3	0					3	131	9,274	3	0	3	136	9,455	3	0	3	139				
T4LG	8,093	3	0					3	119	8,435	3	0	3	124	8,599	3	0	3	126				
TFTM	8,962	3	0					3	132	9,340	3	0	3	137	9,522	3	0	3	140				
T5M	9,156	4	0					2	135	9,542	4	0	2	140	9,728	4	0	2	143				
T5W	9,304	4	0					2	137	9,696	4	0	2	143	9,885	4	0	2	145				
T5LG	9,182	3	0					1	135	9,569	3	0	1	141	9,756	3	0	1	143				
BLC3	6,378	3	0					3	94	6,647	3	0	3	98	6,777	3	0	3	100				
BLC4	6,587	3	0					3	97	6,865	3	0	3	101	6,999	3	0	3	103				
RCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101				
LCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101				
AFR	9,358	3	0					3	138	9,753	3	0	3	143	9,943	3	0	3	146				
P12	103W	30	1050					T1S	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136
								T2M	12,271	4	0	4	119	12,789	4	0	4	124	13,038	4	0	4	126
				T3M	12,412	4	0	4	120	12,935	4	0	4	125	13,187	4	0	4	128				
				T3LG	11,089	3	0	3	107	11,556	3	0	3	112	11,782	3	0	3	114				
				T4M	12,597	4	0	4	122	13,128	4	0	4	127	13,384	4	0	4	129				
				T4LG	11,457	3	0	3	111	11,940	3	0	3	116	12,173	3	0	3	118				
				TFTM	12,686	4	0	4	123	13,221	4	0	4	128	13,479	4	0	4	130				
				T5M	12,960	4	0	2	125	13,507	4	0	2	131	13,770	4	0	2	133				
				T5W	13,170	4	0	3	127	13,726	4	0	3	133	13,994	4	0	3	135				
				T5LG	12,998	3	0	2	126	13,546	3	0	2	131	13,810	3	0	2	134				
				BLC3	9,029	3	0	3	87	9,409	3	0	3	91	9,593	3	0	3	93				
				BLC4	9,324	4	0	4	90	9,718	4	0	4	94	9,907	4	0	4	96				
				RCCO	9,110	1	0	2	88	9,495	1	0	2	92	9,680	1	0	2	94				
				LCCO	9,110	1	0	2	88	9,494	1	0	2	92	9,680	1	0	2	94				
				AFR	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136				
				P13	129W	30	1300	T1S	15,704	3	0	3	122	16,366	3	0	3	127	16,685	4	0	4	130
								T2M	14,547	4	0	4	113	15,161	4	0	4	118	15,457	4	0	4	120
T3M	14,714	4	0					4	114	15,335	4	0	4	119	15,634	4	0	4	121				
T3LG	13,145	3	0					3	102	13,700	3	0	3	106	13,967	3	0	3	108				
T4M	14,933	4	0					4	116	15,563	4	0	4	121	15,867	4	0	4	123				
T4LG	13,582	3	0					3	105	14,155	3	0	3	110	14,431	3	0	3	112				
TFTM	15,039	4	0					4	117	15,673	4	0	4	122	15,979	4	0	4	124				
T5M	15,364	4	0					2	119	16,013	4	0	2	124	16,325	4	0	2	127				
T5W	15,613	5	0					3	121	16,272	5	0	3	126	16,589	5	0	3	129				
T5LG	15,409	3	0					2	120	16,059	3	0	2	125	16,372	4	0	2	127				
BLC3	10,703	4	0					4	83	11,155	4	0	4	87	11,372	4	0	4	88				
BLC4	11,054	4	0					4	86	11,520	4	0	4	89	11,745	4	0	4	91				
RCCO	10,800	1	0					2	84	11,256	1	0	2	87	11,475	1	0	3	89				
LCCO	10,800	1	0					2	84	11,255	1	0	2	87	11,475	1	0	3	89				
AFR	15,704	3	0					3	122	16,366	3	0	3	127	16,685	4	0	4	130				

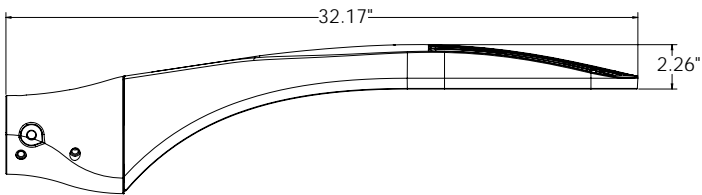
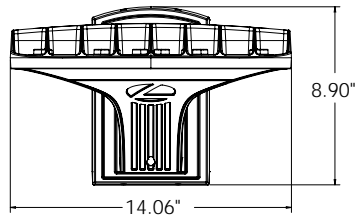
Dimensions



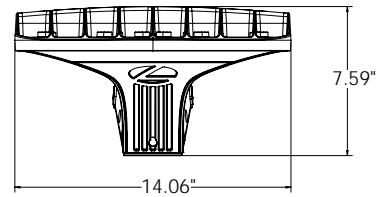
DSX0 with RPA, RPA5, SPA5, SPA8N mount
Weight: 25 lbs



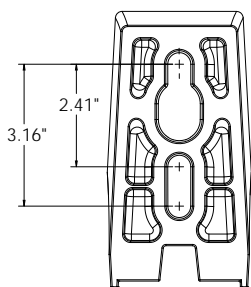
DSX0 with WBA mount
Weight: 27 lb



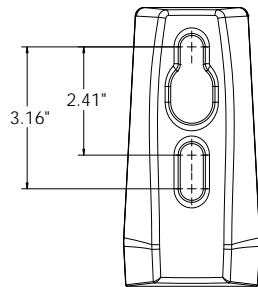
DSX0 with MA mount
Weight: 28 lbs



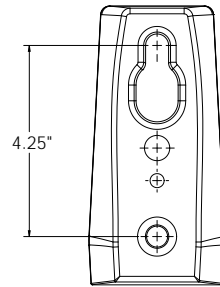
SPA (STANDARD ARM)



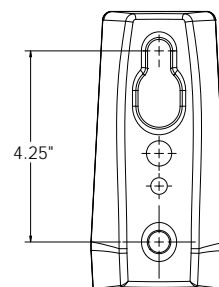
RPA



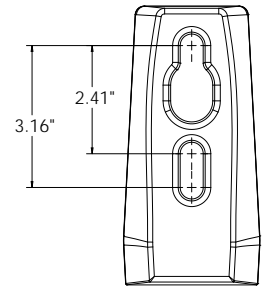
SPA5



RPA5

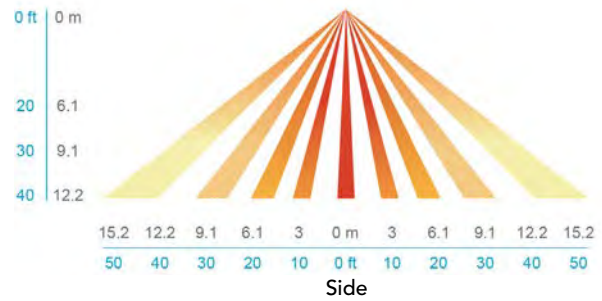
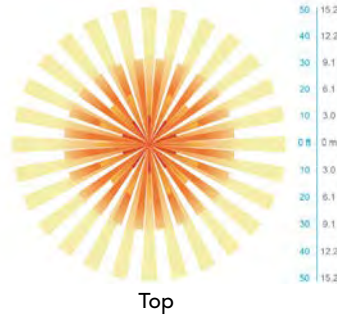


SPA8N



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

WAC LIGHTING

Bastone

Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W99418 18"	2700K 3000K 3500K 4000K	BK Black	30 W	1287	1066

Example: **WS-W99418-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION

A simple rectangle radiates from LED illumination. This seamless design presents a sharp visual style.

FEATURES

- Edge lit LED illumination
- Built in color temperature adjustability. Switch from 2700K/3000K/3500K/4000K
- Option to pre-select color temperature or adjust in the field
- Driver concealed within the canopy

SPECIFICATIONS

Color Temp:	2700K,3000K,3500K,4000K
Input:	120-277V,50/60Hz
CRI	90
Dimming:	ELV: 100-10% , TRIAC: 100-5%
Rated Life:	50,000 Hours
Mounting:	Can be mounted on wall in all orientations
Standards:	ETL, cETL, ADA, Wet Location Listed
Construction	Aluminum with etched acrylic diffuser

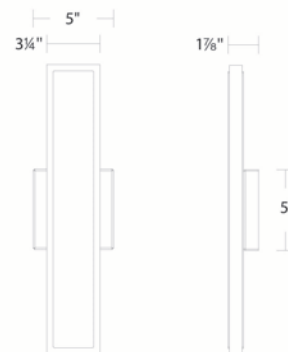


FINISHES:



Black

LINE DRAWING



WS-W99418



WEDGE2 LED

Architectural Wall Sconce

Visual Comfort Optic



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

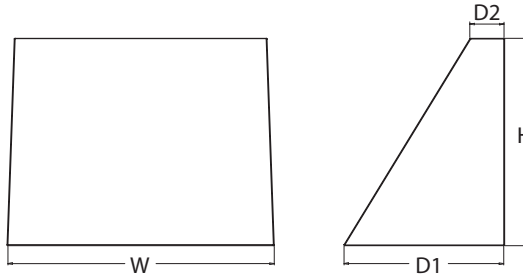
Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight: (without options)	13.5 lbs



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

WEDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WEDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WEDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WEDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WEDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WEDGE2 LED	P1 ¹	P1SW	27K 2700K	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁴	
	P2 ¹	P2SW	30K 3000K				80CRI
	P3 ¹	P3SW	35K 3500K	90CRI	480 ³		
	P4 ¹	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.	40K 4000K	VF Visual comfort wide			
	P5 ¹		50K ² 5000K				

Options		Standalone Sensors/Controls (only available with P1SW, P2SW & P3SW)		Networked Sensors/Controls (only available with P1SW, P2SW & P3SW)		Mounting	
E4WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	PIR	Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	NLTAIR2 PIR	Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.	DDBXD	Dark bronze
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	PIRH	Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	NLTAIR2 PIRH	Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.	DBLXD	Black
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	PIR1FC3V	Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.	NLTAIREM2 PIR	Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights ⁹	DNAXD	Natural aluminum
PE	Photocell, Button Type ⁶	PIRH1FC3V	Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	NLTAIREM2 PIRH	Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights ⁹	DWHXD	White
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) ⁷					DSSXD	Sandstone
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ⁸					DDBTXD	Textured dark bronze
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.					DBLXD	Textured black
DSLE	Dual Switching (1 Driver, 2 Light Engines)					DNATXD	Textured natural aluminum
CCE	Coastal Construction ⁸					DWHGXD	Textured white
						DSSTXD	Textured sandstone

See page 4 for out of box functionality



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WEDGE2 LED
Rev. 04/02/25

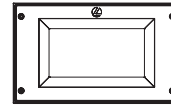
Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE2PBBW DDBXD U	WDGE2 surface-mounted back box (specify finish)

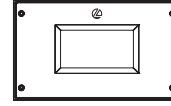
NOTES

- 1 P1-P5 not available with sensors/controls. Sensors/controls only available with P1SW, P2SW and P3SW.
- 2 50K not available in 90CRI.
- 3 347V and 480V not available with E4WH, E10WH, E20WC, DS or DSLE.
- 4 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 5 For PBBW and AWS with CCE option, require an RFA.
- 6 PE not available in 480V or with sensors/controls.
- 7 DS option not available with E4WH, E10WH, E20WC or sensors/controls.
- 8 DMG option not available with sensors/controls.
- 9 Available with MVOLT only and only rated to 25C ambient.



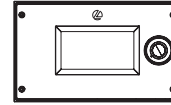
Default configuration with no sensors/controls.

Power Packages: P1, P2, P3, P4, P5



Small Window (SW) configuration

Power Packages: P1SW, P2SW, P3SW



Configuration with sensors/controls

Power Packages: P1SW, P2SW, P3SW

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1 / P1SW	10W	VF	1,166	119	0	0	0	1,209	123	0	0	0	1,251	128	0	0	0	1,256	128	0	0	0	1,254	128	0	0	0
		VW	1,197	122	0	0	0	1,241	126	0	0	0	1,284	131	0	0	0	1,289	131	0	0	0	1,286	131	0	0	0
P2 / P2SW	15W	VF	1,878	129	1	0	0	1,947	134	1	0	0	2,015	139	1	0	0	2,023	139	1	0	0	2,019	139	1	0	0
		VW	1,927	133	1	0	0	1,997	137	1	0	0	2,067	142	1	0	0	2,075	143	1	0	0	2,071	143	1	0	0
P3 / P3SW	23W	VF	2,908	129	1	0	0	3,015	134	1	0	0	3,119	138	1	0	0	3,132	139	1	0	0	3,126	139	1	0	0
		VW	2,983	132	1	0	0	3,093	137	1	0	0	3,200	142	1	0	0	3,213	143	1	0	0	3,206	142	1	0	0
P4	35W	VF	4,096	117	1	0	1	4,247	121	1	0	1	4,394	126	1	0	1	4,412	126	1	0	1	4,403	126	1	0	1
		VW	4,202	120	1	0	0	4,357	125	1	0	1	4,508	129	1	0	1	4,526	129	1	0	1	4,517	129	1	0	1
P5	48W	VF	5,567	115	1	0	1	5,772	119	1	0	1	5,972	123	1	0	1	5,996	124	1	0	1	5,984	124	1	0	1
		VW	5,711	118	1	0	1	5,921	122	1	0	1	6,127	126	1	0	1	6,151	127	1	0	1	6,139	127	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P1SW	10W	0.082	0.049	0.043	0.038	--	--
	13W	--	--	--	--	0.046	0.033
P2 / P2SW	15W	0.132	0.081	0.072	0.064	--	--
	18W	--	--	--	--	0.056	0.041
P3 / P3SW	23W	0.195	0.114	0.100	0.088	--	--
	26W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	38W	--	--	--	--	0.115	0.086
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647
E10WH	VF	1,658
	VW	1,701
E20WC	VF	2,840
	VW	2,913

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

Projected LED Lumen Maintenance

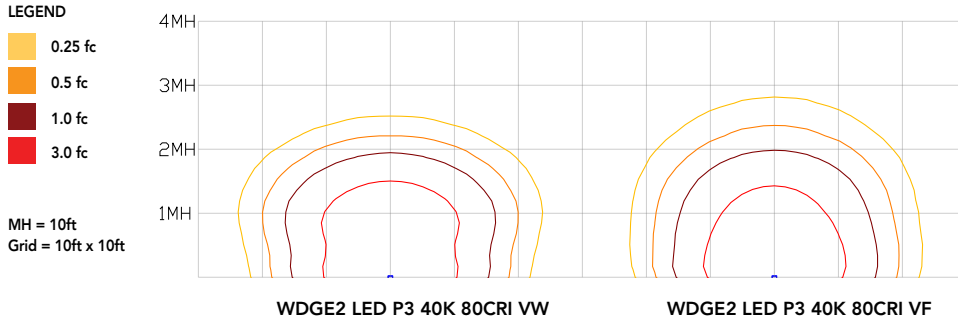
Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



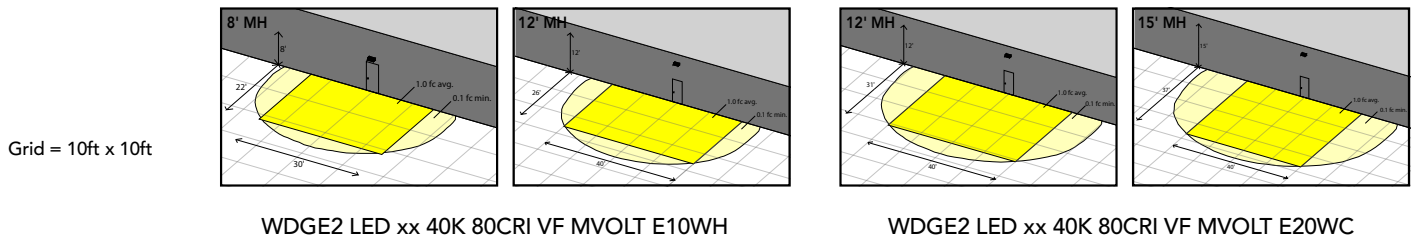
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

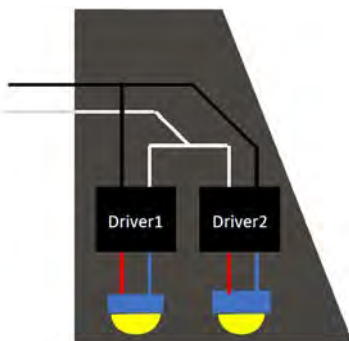
The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E10WH or E20WC and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark.

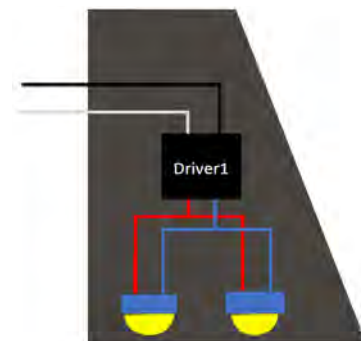
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent to each other so that a failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRH)

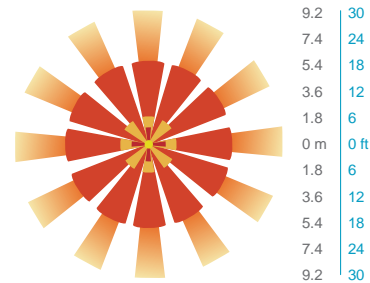
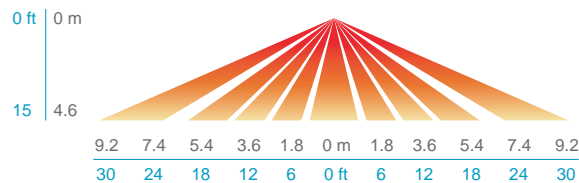
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

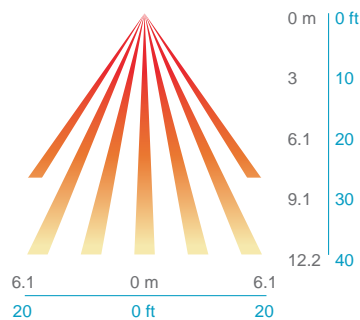
PIR

HIGH VIEW

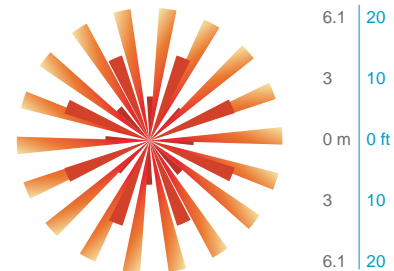


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec

UL 924 Response – nLight AIR Devices with EM Option

- NLTAIR2 devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, NLTAIR2 devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- The non-emergency devices, NLTAIR2 PIR and NLTAIR2 PIRH, with version 3.4 or later firmware can be used for normal power sensing.



NLTAIR2 PIR – nLight AIR Motion/Ambient Sensor

D = 7"

H = 11"

W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"

H = 9"

W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

GOVERNMENT PROCUREMENT

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

CARPORT STYLE: "FLAT TOP"

DESIGN CRITERIA:

Wind Load: 90 MPH minimum!
Ground Snow Load: 30 psf minimum!
All Federal, State and Local codes reviewed.!

COLUMNS: HSS ASTM A-500 Grade B A=500!
Coating Options: Primed or Hot Dip Galvanized!

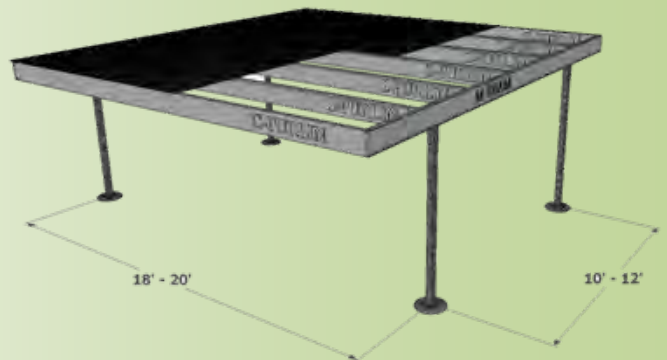
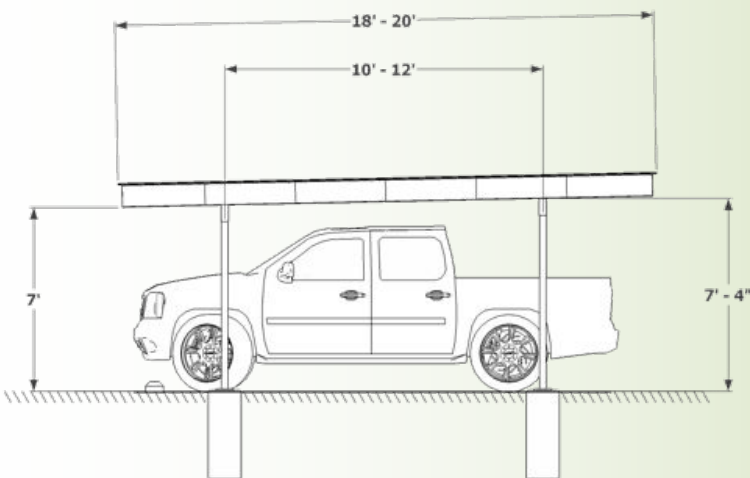
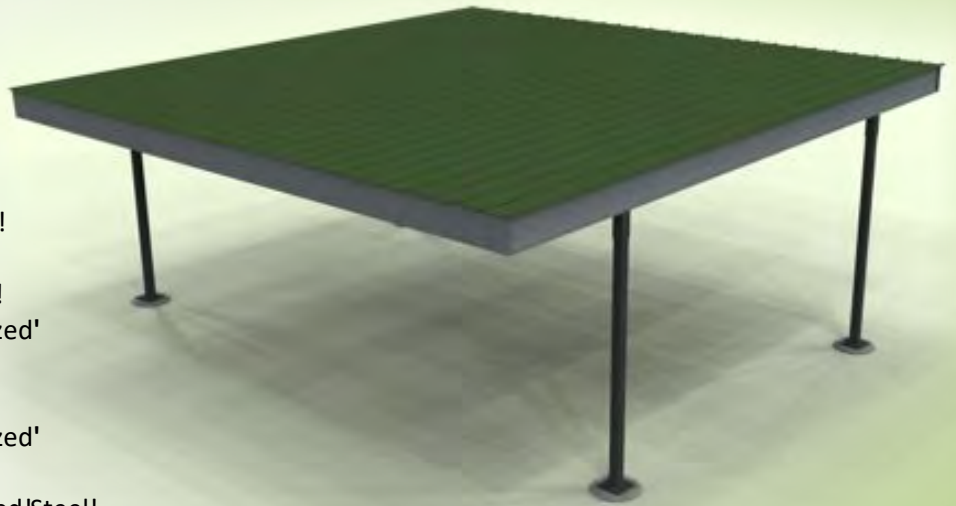
BEAMS: 10" deep A-992 Grade 50 Steel.!!
Coating Options: Primed or Hot Dip Galvanized!

PURLINS: 16 GA. Cold Rolled G=90 Galvanized Steel!

ROOFING: 29 GA Roll formed, Exposed Fasteners,
Galvanized Steel Panel with Siliconized Polyester or
Kynar 500 Factory Applied Finish in a variety of colors!
with white underside.!!

OPTIONS:

Roof Slope!!
Hot Dip Galvanizing!
Site Specific Layout and Configuration!
Standing Seam Roof Sheeting!
Soffit Under Sheeting!
Metal End Panels!
End Overhangs 1'!
Solar Racking!



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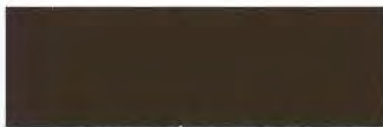
LIGHT STONE



AUTUMN RED



MATTE BLACK



TUDOR BROWN



CHARCOAL



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BRANDYWINE



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- ADDITIONAL COST WILL APPLY FOR DEEP TONE COLORS.
- AVAILABLE IN KYNAR 500® ONLY.



ALL COLORS ARE ENERGY STAR COMPLIANT.

*BRITE WHITE IS SILICONIZED POLYESTER. REGAL WHITE IS KYNAR 500®



METRO 5

RESTAURANT

RESTAURANT

COFFEE

RESTAURANT

RESTAURANT



RETAIL 1

RETAIL 2

RETAIL 3

RETAIL 4

RETAIL 5

RETAIL 6

THE FARMINGTON



THE FARMINGTON



May 21, 2026

Mr. Chris Weber
Assistant City Manager
City of Farmington
23600 Liberty St
Farmington, MI 48335

Subject: The Farmington (Site Plan Review)
Location: 33224 Grand River Avenue (parcel ID: 23-27-153-021)
Zoning: CBD Central Business District
Plan Date: May 14, 2026
Applicant: Ben Tiseo

Dear Mr. Weber:

At your request we have completed our Site Plan Review for “The Farmington”, a mixed-use development, located at 33224 Grand River Avenue and offer the following comments for your consideration.

The opinions in this report are based on a review of the application submitted by the applicant and conformance to all City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and their findings based on ordinance standards as part of their deliberation. Key review items in this letter are underlined for the benefit of the applicant.

PROPOSED USE

The applicant proposes demolishing the existing Village Shoe Inn and constructing a new four-story mixed-use building with commercial units on the ground floor and residential dwellings in upper stories. Per *Sec. 35-102, Table of Uses*, residential dwellings in upper stories of mixed-use buildings are a use permitted by right in the CBD.

LOCATION

This CBD Community Business District property is 0.689± acres (approximately 30,000 square feet) and is located on the north side of Grand River Avenue between Farmington Road and Warner Street with frontage on both Grand River Avenue and Thomas Street. The applicant proposes a building abutting Grand River Avenue, built from the west to east lot lines, with parking located behind. An existing curb cut from Grand River Avenue to the site will be removed. The building will be four (4) stories with a basement and 59,149 square feet total. There will be eleven condo units on each of the upper floors for a total of thirty-three (33) condos.



Aerial of site located at 33224 Grand River.



Rendering of the street-facing façade looking east.

SITE PLAN REVIEW COMMENTS

- 1. Site Plan (§35-163).** The site plan submittal package was complete and contained all required information.
- 2. Use(s) (§35-102).** A mixed-use development with residential dwellings on the upper floor is proposed; this is a use permitted by right in the CBD. Surrounding uses, zoning and future land uses designations include:

	Land Use	Current Zoning	Future Land Use Designation
Subject Parcel	Retail	CBD, Central Business District	Mixed Use
North	Residential	R1-P, Single-Family Parking	Mixed Use
South	Service/Commercial	CBD, Central Business District	Mixed Use
East	Restaurant	CBD, Central Business District	Mixed Use
West	Retail	CBD, Central Business District	Mixed Use

- 3. Lot and Yard Requirements (§35-104).** *Sec. 35-104, Central Business District – Nonresidential and Mixed-Use Development Requirements* details the regulations that apply to all nonresidential and mixed-use buildings in the CBD:



		Required	Proposed	Comment
Lot Area and Width		--	0.689± acres 150' wide	Meets standard.
Setbacks	Front	No less than 3' (with exceptions)*	4'4" to 8'4"	Potentially meets the standard. <u>The Planning Commission may grant a waiver for the front yard setback because it is used to accommodate an inset entranceway to the building.</u>
	Side (east)	0'	0'4"	
	Side (west)	0'	0'0"	
	Rear	--	99'6"	
	Lot Line Abutting Residential	30' Where side or rear lot line adjoins residentially zoned property	99'6"	
Building Height		Min 24' (1 story) Max 45' (4 stories)	45'2" top of roof 52' to of parapet wall	Does not meet the standard. <u>Per §35-42, Exceptions to Height Limit, structures may exceed the height limit in a district to accommodate a parapet wall. The parapet wall may be no more than six (6) feet above the height requirement. As proposed, the parapet wall is seven (7) feet over the height limit which would require a one (1) foot variance from the ZBA.</u>

*Exceptions may be granted by the Planning Commission when the front yard area is used for accommodating an inset entranceway to the building. This setback is proposed based on feedback from the DDA Design Committee to make the building appear less flat and to clearly define customer entrances on the ground floor.

The applicant has a note on their cover sheet that lot coverage in the CBD is limited to 40%. This was noted in error, and their proposed 43.84% lot coverage does not require a waiver from the Planning Commission.

4. **Pedestrian-Oriented Design Requirements (§35-104).** The site is designed to promote safe and effective pedestrian and transit-oriented circulation on-site, between sites, and between parking and streets. The design includes pedestrian amenities along Grand River Avenue, including an expanded streetscape in place of the former curb cut. The applicant is proposing seating, tables, benches and landscaping in this location. The existing sidewalk at the rear of the site (along Thomas Street) will remain.
5. **DDA Design Committee:** Any development or modification to a building in the CBD that requires that plans must first be reviewed by the DDA Design Committee. The committee met with the applicant twice, offered comments and the applicant revised the design based on feedback from the committee. Comments focused on signage, softening the contrast between façade materials, modifying the suggested street furniture, minimizing the height of pole-mounted lights at the rear of the site to reduce light trespass and increasing the size of the entry door at the rear of the building. The site plan reflects the comments of the committee made at their May 13, 2026, meeting.
6. **Building Design (§35-104).** The building design standards contained in the Zoning Ordinance are intended to ensure that new construction in the CBD reflects a high level of building quality that will endure



over time and will incorporate timeless design details. The requirements also ensure that all new construction is consistent with the character of the CBD.

- a. **Main Entrance(s).** The building has main entrances located on the Grand River Avenue frontage. Main entrances have design details that enhance the prominence of the entrance to be recognizable from the street and parking areas; entranceways are proposed to be inset more than three (3) feet.
- b. **Roof.** A flat roof is proposed in accordance with the Zoning Ordinance, and the roof is enclosed by parapets. A note on Sheet P12 states that all mechanical equipment will be on the roof and screened by the parapet as required.
- c. **Awnings.** No awnings proposed.
- d. **Required Window Area and Exterior Finishes.** While creativity in design is encouraged, buildings in the CBD must adhere to the following:

Required	Proposed	Comment
Flat roof with traditional cornice proportionate to building and parapet wall tall enough to screen rooftop equipment.	Flat roof with cornice.	Meets standard.
Upper floor windows must comprise 30-70% of façade area of upper floors.	Façade calculations not provided.	Appears to meet standard. <u>While calculations were not provided the upper floors appear to meet or exceed the minimum requirement. The applicant should submit façade calculations for administrative review and approval.</u>
Design separation between 1 st and 2 nd stories with cornice or other features.	Elevations on Sheet P10 show architectural detail of composite material differentiating 1 st floor from upper floors.	Meets standard.
Windows and doors must comprise 70% of the front façade area between 2 and 8 feet above grade.	Façade calculations not provided.	Appears to meet standard. <u>While calculations were not provided; the front façade area between two (2) and eight (8) feet above grade is predominantly window and doors which appear to meet or exceed the minimum requirement. The applicant should submit façade calculations for administrative review and approval.</u>
Main pedestrian entrance located street front.	Main entrances all located along Grand River Avenue.	Meets standard.

- e. **Windows.** While façade calculations were not provided, the design as shown on the elevations appears to meet the requirements as it pertains street/sidewalk facing façade. Windows and doors above the first floor appear to comprise between thirty (30) percent and seventy (70) percent of the total wall area of all upper floors.



f. Exterior Finish Materials. The building wall (exclusive of any windows or doors) of any façade visible from public view shall consist of the following:

Required	Proposed	Comment
The wall shall be constructed of at least seventy-five (75) percent modular brick or stone.	Façade calculations not provided.	Potentially meets the standard. <u>Based on the elevations presented on Sheet P10, the façade may not meet this requirement. The applicant should submit façade calculations.</u>
Up to twenty-five (25) percent of the remaining wall area may include wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementitious finish), precast masonry, metal or molded polyurethane trim.	Façade calculations not provided.	Appears to meet or exceed standard. <u>The applicant should submit façade calculations.</u>
Exterior walls that may be concealed by future building development on adjacent sites may be constructed of lower-cost materials that are consistent with the building façade...	The applicant has proposed brick, metal panel, metal trim, composite material and stone – consistent with the building façade.	Meets standard.
The Planning Commission may permit other high-quality exterior finish materials comparable to those required above. The Planning Commission shall consider the standards of the Zoning Ordinance and a recommendation of the DDA Design Committee...	Exterior finishes as presented are based on feedback from the DDA.	Meets standard.
Buildings that have upper stories shall be designed to create a distinct and separated ground floor area using accents such as a cornice, change in material or textures, or an awning or canopy between the first and second stories.	Elevations on Sheet P10 show architectural detail of composite material differentiating 1 st floor from upper floors.	Meets standard.

The applicant must present a sample board to the Planning Commission showing proposed materials and colors for all proposed structures.

- g. Modifications.** The Planning Commission may approve deviations to the building design standards of §35-104(C), *Building Design*, following the recommendation of the DDA Design Committee, to achieve the objectives of this subsection using creativity and flexibility in development and design. Each deviation shall require a finding that the design standard sought to be deviated from would, if no deviation was permitted, prohibit an enhancement that would be in the public interest. The design should be evaluated by the Planning Commission upon the following criteria:
- i. Innovations in architectural design may be permitted, provided the building design shall be in keeping with the desired character of the CBD, as articulated in the city Master Plan and the Downtown Plan, and the proposed building fits within the context of adjacent buildings along the block.



- ii. The building shall be oriented towards the front sidewalk and maintain or enhance the continuity of the pedestrian-oriented environment.
- iii. The roof design shall not be out of character with other buildings along the block and shall be within the minimum and maximum height requirements of the district.
- iv. The exterior finish materials shall be of equal or better quality and durability as those permitted above, with the intent to allow for new technologies in building material while maintaining the desired character of the CBD.
- v. Ground floor windows shall be provided along the front sidewalk to maintain the pedestrian orientation of the streetscape and upper story windows shall not be incompatible with the rhythm and proportions of windows on other buildings along the block.

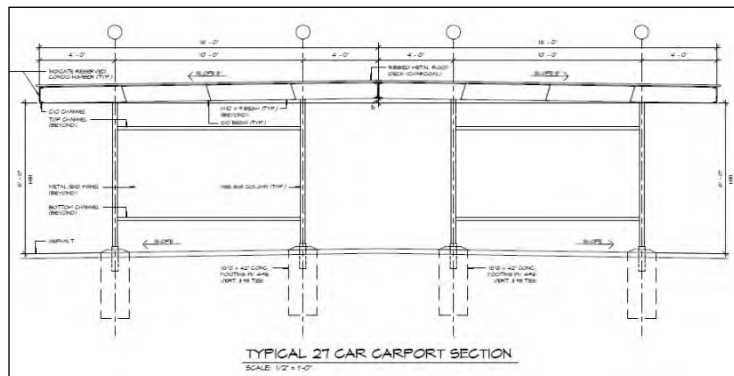
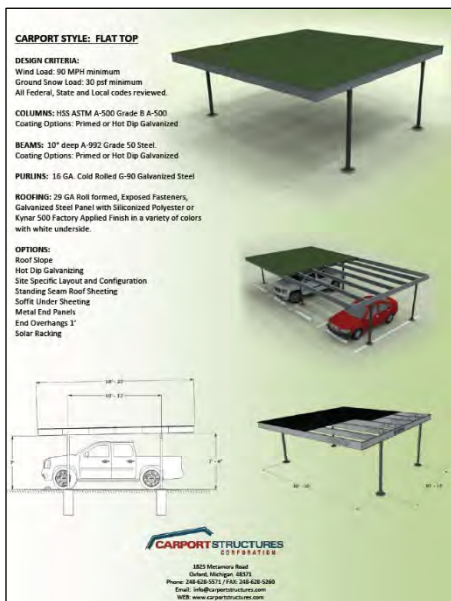
h. Parking (§35-104, §35-172 and §35-173). The parking lot shall meet the following requirements:

Required	Proposed	Comment
Parking lots in the CBD shall meet the requirements of §35-104:		
Parking is permitted only in the side and rear yards.	All parking is in rear yard.	Meets standard.
Where off-street parking is proposed, at least sixty (60) percent of the site's frontage shall be occupied by usable building space to a depth of at least twenty (20) feet.	100% of site's frontage is occupied by usable building space.	Meets standard.
Parking lot design shall conform to the requirements of <i>Article 14, Off-Street Parking and Loading Standards and Access Design</i> .**	Parking lot design conforms to the requirements of <i>Article 14</i> .	Meets standard.
§35-172. Off-Street Parking Requirements by Use		
Numerical parking requirements of §35-172: Multiple family (2 per dwelling) = 66 spaces Retail (4 per 1,000 SF) = 50 spaces Total spaces required = 116	40 spaces provided	Does not meet the standard. <u>The Planning Commission may waive these requirements if they determine that the applicant meets the conditions outlined in Article 14 (summarized below).</u>
§35-173. Off-Street Parking Space Layout, Standards, Construction and Maintenance		
Parking space dimensions: 9' x 18'	9' x 18'	Meets standard.
Parking pattern 75° to 90° requires 22' wide drive aisle	22' wide drive aisle	Meets standard.
Raised concrete curb min. 6 inches tall installed for all driveways, parking lots, access lanes and other vehicle maneuvering areas...	6" curb provided	Meets standard.
Accessible parking spaces required = 2 spaces	2 spaces provided	Meets standard.

** Because the regulations of this section are intended to encourage pedestrian/transit friendly design and compact mixed-use development that requires less reliance on automobiles, on-site parking required under *Article 14* may be waived under the following conditions:



- a. The site is located within five hundred (500) feet of other parking facilities intended for public use, such as a municipal parking lot, parking structure or on-street parking that provides adequate parking spaces to serve the proposed use. **Comment: meets the standard.**
- b. Failure to provide on-site parking shall be deemed to constitute and acknowledgement and acceptance of a benefit (i.e., the relaxation of on-site parking standards) such that, if the city establishes a special assessment district to fund the construction operation and maintenance of public parking that will serve the property, the property owner agrees to become part of such district and further agrees to payment of the assessment in lieu of providing on-site parking. The city may require a written acknowledgement with respect to the benefit provided. **Comment: potentially meets the standard.**
- i. **Loading (§35-174).** No loading space is shown on the site plan; the proposed uses do not appear to require a dedicated loading space.
- j. **Carpports.** The applicant provided an image of the proposed carpport to be installed. We recommend revising the plan to select a style of carpport that is more aesthetically pleasing and cohesive with site and surrounding properties.



Rendering of proposed carpport and cross section from site plan.

- 7. **Signs.** Signs were not included in the site plan submittal. The applicant must apply to the Building Department for any proposed signs.
- 8. **Access, Driveways and Circulation (§35-171).** Parking lot design and circulation as proposed meets the requirements of this section.
- 9. **Emergency Vehicle Access.** A circulation plan was not provided as part of the site plan submittal; we defer to the comments of public safety and engineering.



- 10. Waste Receptacles (§35-51).** A dumpster enclosure is proposed in the northwest corner of the site. This location will require off-property access to the dumpster. The applicant must provide a cross-access easement for review and approval by the City Attorney prior to the issuance of building permits.
- 11. Lighting (§35-48).** The photometric plan indicates that light within the site will not exceed ten (10) footcandles or one (1) footcandle at the property line. The applicant proposes seven (7) wall-mounted fixtures on both the front and back of the structure and five (5) pole-mounted light fixtures in the parking lot. The photometric plan should be revised to show the height at which all light fixtures will be mounted. The revised plan should also include the specs for the proposed pole-mounted lighting.
- 12. Landscaping (§35-184).** Landscaping requirements for this site are as follows:

	Required	Proposed	Comment
Interior	Landscaping or ground cover on all areas without buildings/ impervious surface and landscaping abutting the building to soften appearance.	The applicant has proposed a mixture of shrubs and ornamental grasses against the front of the building as well as planters at the rear of the building.	Meets standard.
Greenbelt	In locations where the greenbelt standards cannot be accommodated due to existing conditions, an alternative such as a brick street wall, hedgerow or landscaped terrace may be provided to meet the intent of the frontage requirements	The applicant has proposed amenities and landscaping on the streetscape in front of the building in lieu of a greenbelt.	Meets standard.
Parking Lot & Buffer	Parking lot landscaping and a buffer to the north would typically be required.	No parking lot landscaping or buffer is proposed.	Potentially meets the standard. <u>The Planning Commission may want to consider waiving the requirement for parking lot landscaping and/or buffer due to the constraints of the site and more urban nature of this development.</u>
Waste receptacle, mechanical equipment and utility screening	Screening required.	Waste receptacle will be screened by dumpster enclosure; mechanical equipment is roof-mounted and screened by parapet wall. No utilities shown on plan – if any are proposed they will need to be adequately screened.	Meets standard.

- 13. Installation, Irrigation and Maintenance (§35-184).** All landscaped areas shall be provided with an underground irrigation system. On Sheet L1 the applicant indicated that a new irrigation system will be



installed for plantings along building foundation. They also stated that there is an existing irrigation system in the beds located in the right-of-way.

RECOMMENDATION

Based upon the above analysis we **recommend approval of the site plan for the property located at 33224 Grand River Avenue (parcel ID: 23-27-153-021)** conditioned upon the following:

1. Planning Commission waiver for a front yard setback greater than three (3) feet because it is used to accommodate an inset entranceway to the building.
2. Applicant must obtain a variance from the Zoning Board of Appeals for §35-42, *Exceptions to Height Limit*, to exceed the height limit in the district by 1’.
3. The applicant submits façade material calculations for administrative review and approval to ensure that the design and exterior finish materials as proposed meet the requirements of §35-104, *Central Business District – Nonresidential and Mixed-Use Development Requirements*.
4. Planning Commission determination that the applicant has satisfied the conditions outlined in *Article 14* of the Zoning Ordinance to waive numerical parking requirements.
5. Applicant must provide a cross-access easement for review and approval by the City Attorney prior to the issuance of building permits, allowing access to the dumpster from the adjacent property to the west.
6. Applicant must provide a sample board to the Planning Commission showing proposed materials and colors for all structures.
7. The applicant must apply to the Building Department for any signs.
8. The photometric plan should be revised to show the height at which all light fixtures will be mounted. The revised plan should also include the specs for the proposed pole-mounted lighting.
9. Planning Commission waiver for parking lot landscaping and buffer to the north, due to the constraints of the site and more urban nature of this development.
10. Review and approval of all applicable City departments and consultants.

If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,

Kristen Hatfield, AICP
Senior Planner

cc: Jennifer Morris, Principal, OHM
Austin Downie, Client Representative, OHM



May 21, 2026

Chris Weber
Assistant City Manager
City of Farmington
23600 Liberty Street
Farmington, MI 48335

RE: Multi-Story Mixed Use Development – Site Plan Review #1
33224 Grand River Avenue

Dear Mr. Weber:

Our office has completed the first site plan review of the plans, dated May 11, 2026, for the proposed Multi-Story Mixed Use Development. The plans, prepared by Nowak & Fraus Engineers, were received by OHM Advisors on May 14, 2026, and reviewed with respect to the City of Farmington Engineering Standards and Design Specifications. At this time, we recommend site plan approval contingent upon the comments below being addressed prior to future plan submittals.

A brief description of the project has been provided below, followed by our site plan comments and a list of required permits/approvals. Please note preliminary detailed engineering comments have been provided as a courtesy to the applicant in order to help minimize future comments. Furthermore, future submittals may contain additional detailed engineering comments as our office reviews additional information that is submitted. However, these comments are not necessary to address prior to Planning Commission review.

PROJECT AND SITE DESCRIPTION

The applicant is proposing to demolish the existing Village Shoe Inn building at 33224 Grand River Avenue and its associated parking lot to construct a new multi-story mixed use development building. The proposed building includes thirty-three (33) new apartment units and six (6) retail spaces along Grand River Avenue. The proposed development will include the installation of an underground detention system, a new sanitary sewer lead connecting to the existing Thomas St sewer main, and a new water service connecting to the existing Thomas St water main. Site access is proposed via two (2) entrances/exits; one off of the entryway between the proposed site and Cannelle and the other off of Thomas St.

SITE PLAN REVIEW COMMENTS

The following site related comments shall be addressed by the applicant:

1. A representation of how a garbage truck, or the largest anticipated vehicle, will access the proposed site shall be provided. It is recommended an AutoTurn turning template be added to the plans prior to future submittals.
2. It is strongly recommended that the applicant remove and replace the existing sidewalk parallel with Thomas St, north of the parking lot. Further, it is unclear if a sidewalk/pedestrian connection will be proposed along the west side of the parking lot, from Thomas St to the west entrance of the proposed building. The applicant shall review and revise, as necessary.
3. The foundation locations for the carport structure shall be shown on the plans in order to ensure site circulation is not impacted.



4. It appears the seating area bumpout in front of the building is directly adjacent to Grand River Ave. The applicant shall propose a physical barrier between the roadway and seating area to ensure pedestrians cannot access the roadway right off of the sidewalk.
5. It is unclear if any cleanouts are proposed on the sanitary lead. It is recommended that at least one be added to the lead, in a location that will always be accessible and not within a parking space.
6. The location of the proposed curb stop boxes shall be shown on the utility plan. We recommend that all curb stop boxes are located outside of pavement areas. If they are located within paved areas, they shall not be located within a proposed parking space and a D-Box will be required with a modified cap that says "domestic" for the curb stop(s).
7. The applicant shall include the locations of access points to the underground detention system on the plans, if any.
8. It appears there are multiple curb types proposed. The applicant shall call out the locations of each curb type on the plans.
9. The applicant shall include a note or callout that frost stoops shall be constructed at all entrance/exit points to the building.
10. The size and material of the proposed storm sewer shall be included on the plans.
11. A stormwater narrative explaining how site runoff will be dealt with shall be included on the plans.

PRELIMINARY DETAILED ENGINEERING COMMENTS

The following preliminary detailed engineering comments are being offered to the applicant in advance of the detailed engineering plan review:

1. The applicant shall provide spot elevations at all four corners of all proposed barrier-free parking spaces, access aisles, ramps, and level landings, as well as at 50-foot intervals along all sidewalks (proposed and existing) to ensure ADA compliance. The applicant shall note that the cross slope shall not exceed 2%.
2. The applicant shall provide profiles for the storm sewer on the plans. These profiles include invert elevations, pipe sizes, proposed materials, lengths, and slopes.
3. The applicant shall provide structural calculations and details for the proposed retaining wall at the east end of the parking lot.
4. The applicant shall include details of the proposed guardrail on the east end of the parking lot.
5. The applicant shall provide City of Farmington standard details in the plan set. OHM can provide these upon request.

PERMITS/APPROVALS

The following outside agency reviews and permits may be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the City and this office.

- ▶ A building permit will be required by the City Building Department.
- ▶ An MDOT Permit will be required for any/all work proposed within the Grand River Avenue right-of-way.
- ▶ A preconstruction meeting shall be held prior to the start of construction. A preconstruction requirements letter will be sent under separate cover and will outline provisions for insurance, bonds, and inspection deposits necessary prior to scheduling the preconstruction meeting.
- ▶ Any other permits necessary (through the City or other agency) shall be obtained prior to starting construction.



It shall be noted that additional comments may be generated from information presented in future submittals. If you have any questions, please feel free to contact us by phone at (734) 522-6711 or by email at austin.downie@ohm-advisors.com.

Sincerely,
OHM Advisors

Handwritten signature of Matthew D. Parks in black ink.

Matthew D. Parks, P.E.

Handwritten signature of Austin Downie in black ink.

Austin Downie, P.E.

cc: Jeff Bowdell, City of Farmington
Allen Eizember, P.E., Nowak and Fraus Engineers
Ben Tiseo, Tiseo Architects
File

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DDA Design Committee Meeting
7:30 am Wednesday May 13, 2026
City Hall Conference Room
23600 Liberty Street
Farmington, MI 48335

Meeting Minutes

The meeting was called to order at 7:30 AM by Claire Perko.

1. Attendance

Present: Claire Perko, Brian Golden, Steve Schneemann, Ken Crutcher, Brett Budnick, and Sarah Holt, Jess Westendorf, Kimberly Lapinski (Tiseo Architects), Ben Tiseo (Tiseo Architects), John Khami (Parkwood Properties), Bob Ayotte (K&B Contracting)

2. Approve April 30, 2026 Design Committee Minutes

Motion by **Golden**, seconded by **Schneemann** to approve the April 30, 2026 Design Committee Meeting Minutes. Motion passed unanimously.

3. Farmington Village Place Review

The committee reviewed the Farmington Village Place project at 33224 Grand River Avenue. The development team presented revisions made in response to prior Design Committee comments, including setting the first-floor retail frontage back approximately four feet, extending the upper residential floors to create a covered pedestrian area, adding planters and integrated seating, reducing the amount of metal panel, revising the front and rear elevations, and providing updated lighting and material information. The packet identifies the proposal as a four-story mixed-use building and includes requested waivers related to parking totals, roof height, off-property trash access, loading and unloading, building lot coverage, and front setback.

The committee generally appreciated the improved pedestrian frontage and the additional overhang, landscaping, and seating along Grand River. Discussion focused on making the front walk and retail entries feel welcoming and functional, including the width of access points, the relationship between the private frontage and public sidewalk, and whether the benches should be modified to discourage use as skate rails. The committee also discussed the planter depth, plant material, and the need for irrigation.

The committee reviewed the proposed material palette and architectural composition. Members discussed the contrast between the light brick, dark metal panel, dark brick banding, and trim colors, with a suggestion to soften the contrast. The committee also discussed the overall massing and depth of the façade, noting that the revised material planes helped but that additional care should be taken to ensure the building does not read as overly flat.

The proposed large building sign and the use of "Village" in the project name were discussed. Several members expressed concern that the sign felt out of scale with the pedestrian experience and suggested removing or reducing the large front sign. The

committee encouraged the project team to explore smaller tenant blade signs under the overhang to better support ground-floor retail visibility and pedestrian orientation.

The rear of the building, parking area, carports, lighting, and access were also reviewed. The committee discussed preparing the residential parking spaces for future EV chargers, keeping parking lot lighting as low as possible to reduce light trespass, and confirming that photometrics and fixture details comply with ordinance requirements. The committee also requested a larger rear residential entry door, preferably a wider glass door, to better accommodate furniture movement and create a more welcoming entry, and suggested to accent it with lighting.

Perko summarized the committee's design comments as follows: remove or reconsider the large front building sign; add pedestrian-oriented blade signs beneath the overhang; consider the contrast between exterior materials and material placement on the back facade; modify the concrete benches to support long-term maintenance and appropriate use of the pedestrian area; minimize parking light height and light trespass; and increase the size of the rear entry door. The item will proceed to Planning Commission with Design Committee comments.

4. Other Business

Committee reviewed three signs:

- Mercantile Market – approved pending that the lighting type complies with the sign ordinance.
- Odysseus Coffee – approved as presented.
- VIP Nails blade sign. Staff noted that the sign location would be moved inward from the corner of the building. The committee supported the blade sign and requested that removal of the existing window decals so the storefront would be more visually open.

Westendorf provided a brief update on the incubator space, with Budnick sharing the design.

5. Adjournment

The meeting was adjourned at approximately 9:00 a.m.



FARMINGTON

 **FORWARD** 2025

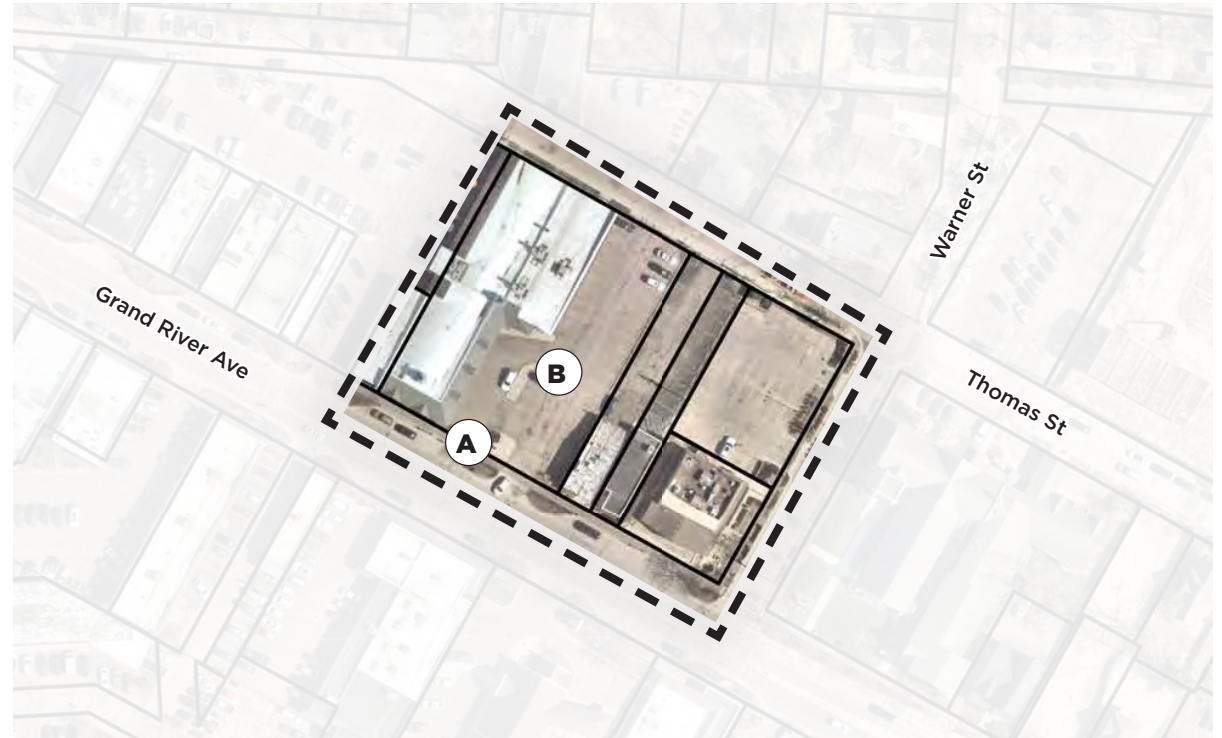
THOMAS & WARNER

Overview

The Thomas & Warner focus area occupies a highly visible site along Grand River Avenue, extending north toward Thomas Street and south toward Warner Street. Today, the site is characterized by a mix of older, single-story commercial buildings, including the long-standing Village Shoe Inn, along with some more recent one-story retail investment to the south. While these uses contribute to downtown's retail mix, the overall development pattern remains low-density and auto-oriented relative to the site's potential. Parking is limited and often insufficient, creating circulation and access challenges for businesses and visitors.

Given its prominent frontage, proximity to other key downtown destinations, and existing commercial character, the site presents a significant opportunity for reinvestment. Redevelopment can address long-term parking needs, introduce additional density and activity, and better align this block with the scale and energy of the broader downtown core.

Thomas & Warner Existing Condition



Existing Conditions



Observations

- Encourage higher and better uses for aging commercial structures.
- Support opportunities to increase both residential and commercial density.
- Address large surface parking areas that interrupt continuous building frontage and streetscape cohesion.

Community Feedback

SURVEY

- Encourage revitalization or adaptive reuse of areas to improve appearance and functionality.

OPEN HOUSE

- Transform underutilized sites into mixed-use and community-oriented spaces.

STAKEHOLDERS

- Enhance commercial diversity while promoting walkability and a vibrant streetscape.

Vision

The Village Shoe Inn focus area is envisioned as a straightforward yet impactful mixed-use redevelopment that strengthens downtown's retail corridor and improves site functionality. The Plan introduces two new mixed-use buildings with ground-floor restaurant and retail space and upper-story residential units, helping diversify housing options and bring additional activity to this part of Grand River Avenue. Parking is consolidated to the rear of the site, simplifying access, improving circulation, and supporting shared use across the district. The result is a more coherent, pedestrian-oriented streetscape that contributes to downtown's overall vibrancy walkability.

Development Principles

Add Mixed-Use Density:

Introduce new buildings with retail and restaurant space with upper-story residential units to support downtown living and local business vitality.

Enhance Site Functionality:

Relocate parking to the rear to improve access, circulation, and efficiency while supporting shared parking strategies across the district.

Strengthen the Streetscape:

Create a consistent and engaging frontage along Grand River Avenue with pedestrian-oriented building design and public realm features.

Support Housing Diversity:

Incorporate new residential units that contribute to Farmington's missing middle housing supply and bring new residents within walking distance of downtown amenities.

Foster Connectivity:

Ensure site design integrates seamlessly with surrounding streets, adjacent developments, and the broader downtown pedestrian network.



Source: ForRent.com

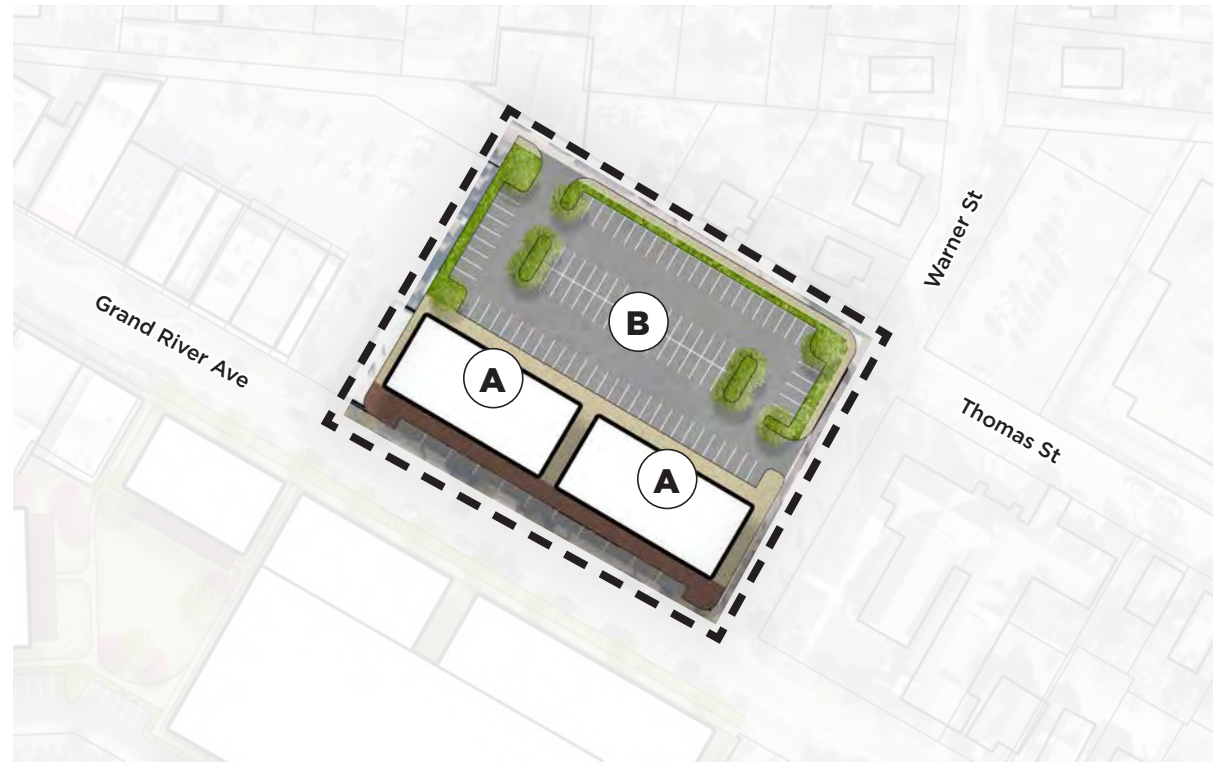


Source: Crawford Hoying



Source: Gresham Smith
Character Imagery

Thomas & Warner Concept Plan



Development Details

A 15,000 s.f. ground-level restaurant/
retail, 28 units total
(flats, 2nd, 3rd, and 4th floor)

B 110 Parking spaces
(99 surface, 11 on-street)

Next Steps & Implementation

- 1. Adopt the Concept Plan Framework**
Formally adopt the Farmington Road concept plan as the guiding vision for long-term redevelopment.
- 2. Position the Site for Mixed-Use Development**
Market the property as an ideal location for retail and housing within the downtown area to attract developers and investors.
- 3. Engage Property Owners**
Collaborate with existing property owners to clearly communicate the City's and DDA's redevelopment goals and explore opportunities that align with both parties' interests.
- 4. Adopt Design Guidelines**
Establish or recommend design standards to ensure appropriate development form, functionality, and compatibility with the downtown character.
- 5. Leverage Financial Tools**
Identify and utilize available financial resources and incentives to support redevelopment, including housing-related programs and TIF options where applicable.